

LAKESIDE DESIGN GUIDELINES

Lakeside Planning Area
County of San Diego

LAKESIDE DESIGN GUIDELINES

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Department of Planning
& Land Use

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of the San Diego County Zoning Ordinance
by the Department of Planning and Land Use.

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Lakeside Design Guidelines

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PART 1. THE DESIGN REVIEW PROCESS

This booklet outlines the Design Guidelines for development in the Lakeside Community Planning Area.

Design Review in Lakeside is administered by the San Diego County Department of Planning and Land Use as part of the development review process. Projects are evaluated by the Lakeside Design Review Board, a panel of citizens appointed by the County Board of Supervisors. Actions of the Design Review Board are advisory to the various County authorities (Director of the Department of Planning and Land Use, Planning and Environmental Review Board, Zoning Administrator, Planning Commission and Board of Supervisors) who issue decisions on development proposals.

DEVELOPMENT SUBJECT TO DESIGN REVIEW

Design Review is a required step in the development approval process for the following types of projects located within the boundaries of the Lakeside Community Planning Area:

- All commercial development
- All industrial development
- All multi-family and duplex residential development on land zoned at a density over 7.3 dwelling units per acre. A "multi-family residential development" is defined as a project containing three or more attached dwelling units. A "duplex" is a building containing two attached dwelling units.
- The following Major Use Permits where they also require the issuance of building permits for construction or alteration of buildings: planned developments; mobile home parks; churches; administrative services; clinics; community recreation facilities; cultural exhibit and library buildings; group and child care centers; lodge, fraternal and civic assembly buildings; emergency or utility service facilities. It is intended that the Community Planning Group will work with the Design Review Board and the applicant to encourage consistency of Major Use Permits with applicable design guidelines.

THE PURPOSE OF DESIGN REVIEW

Design Review is one of several review procedures used by the County to protect the public welfare and environment. The process is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. Design Review makes a careful examination of a project's quality of site planning, architecture, landscape design and important details such as signage and lighting. The purpose is to insure that every new development will carefully consider the community context in which it takes place and make a conscientious effort to develop a compatible relationship to the natural setting, neighboring properties and community design goals.

Lakeside citizens have strong feelings about the quality of the community's natural setting, agricultural history, village-like Town Center and rural residential character. The Design Review process is intended to protect and retain Lakeside's pleasant rural environment. Lakeside's community landscape and built environment will affect the quality of life of present and future generations. Citizens expect approved developments to contribute to this quality.

Design Review is a process based on fair and reasonable standards. The Design Review Board is sensitive to both developer and community concerns. The Board will work with the community and developers to weigh all considerations, be flexible when necessary, and do its best to reach fair decisions when there is a difference of opinion.

HOW THE DESIGN REVIEW PROCESS WORKS

The Lakeside Design Review Board evaluates development proposals using the Design Guidelines described in this manual as criteria. The Board may recommend to:

- Approve or disapprove proposals.
- Approve proposals subject to conditions.
- Request the applicant to re-submit the proposal with specific changes.

Decisions of the Design Review Board are advisory to the various approving authorities that will issue final decisions on development approval. Appeals of decisions are handled through normal County planning appeals procedures.

Review Board members should be instructed by Department of Planning and Land Use staff on the application of the Guidelines, the limits of the Board's review, and the necessity for substantiating the Board's recommendation by identifying those applicable Guidelines that are satisfied or not satisfied by the development proposal.

STEPS IN THE REVIEW PROCESS

1. STAFF CONFERENCE

Before planning and design begins, the developer or his designer is urged to meet with the County Planning staff relative to Lakeside Design Review. The nature of the project and site should be described. The Planning staff member will clarify review procedures and submittal requirements. Critical design issues and Design Guidelines important to the project may be discussed.

2. PRELIMINARY REVIEW (Optional)

This step is optional but recommended for large or complex projects and projects requiring extensive grading or alteration of natural features.

Preliminary Review allows the developer to meet with the Design Review Board to discuss basic intentions and plans before investing time in detailed design. At this stage, site design, location of buildings, grading, basic form of buildings and landscape concepts are important. Building elevations and other information may be discussed but should be kept in preliminary form.

Preliminary Review is an informal process enabling the applicant to receive input from the Design Review Board and get its opinion on the basic concept of the development proposal. The Board will not normally take official action or vote on a project until Final Application and Review.

3. WAIVER CONSIDERATIONS

Occasionally, on minor projects, the Design Review Board may recommend a waiver of the final application and review requirements. Projects which may be considered for this waiver include:

- a. Projects which are minor in nature and preliminary review satisfies the Design Review Board's concern.
- b. Projects which when subjected to final application and review requirements would not materially contribute to the attainment of the community design objectives.

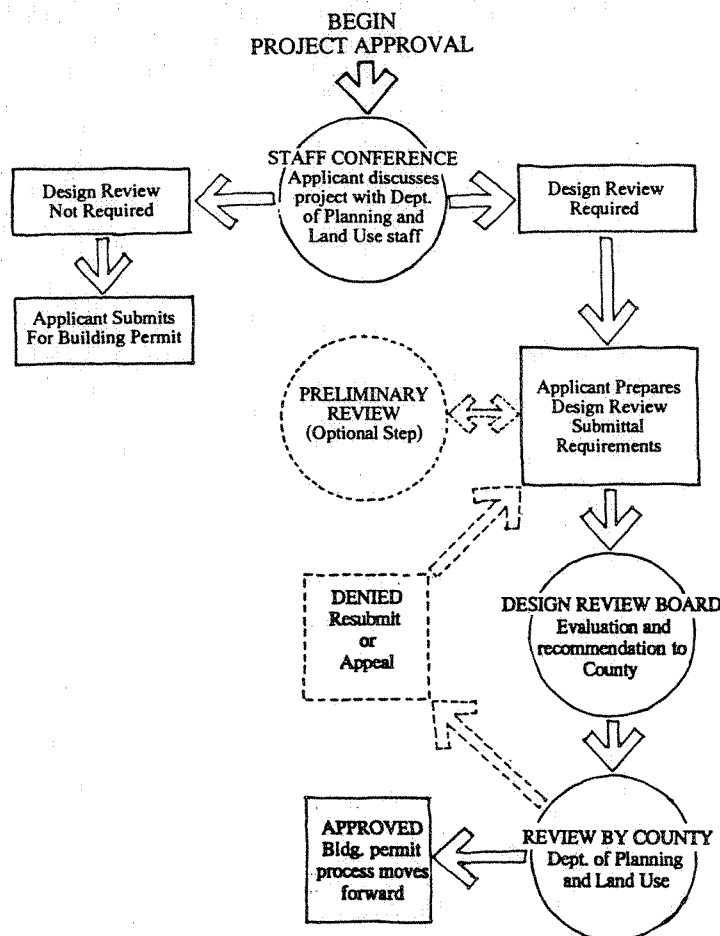
4. FINAL APPLICATION AND REVIEW

The one required step in the Design Review process, unless a waiver has been granted, is submittal of a Final Application and appearance before the Design Review Board. Submittal requirements for Final Application and Review are given in Part 4 of this booklet.

Applications are filed with the Department of Planning and Land Use. Within 5 days of receipt of a complete application, copies of the application are transmitted to each member of the Lakeside Design Review Board. The chairperson of the Design Review Board then schedules the item for review at the next available Design Review Board meeting and informs the applicant of the time, date and place for the hearing.

Evaluation of the project by the Design Review Board is limited to the topics contained in this manual. The Review Board makes a recommendation to the applicable County approval authority, citing specific guidelines to which the project conforms or does not conform.

The applicable approval authority also evaluates the project for conformance to this manual, considers the Design Review Board's recommendation, and render a decision. The decision may be appealed in accordance with the County's appeal procedures. In the event the Review Board's recommendation is not received within 20 days after transmittal of the application, a decision may be made without a recommendation of the Review Board. Upon making a decision, the County should transmit a copy of the decision to the Review Board.



APPLICATION PROCESS

PART 2. COMMUNITY DESIGN OBJECTIVES



The Lakeside community is committed to preserving its rural residential character, unique natural environment and historic resources. Lakeside's location next to some of San Diego's most scenic terrain, undeveloped public lands and regional parks have made the area an attractive alternative to neighboring suburban communities. While these qualities have brought many new residents and accompanying growth, many of the characteristics that attracted people to Lakeside are being lost to development patterns that have no relationship to the community's history or natural setting. The Design Guidelines define basic principles to help unify the character of new development in Lakeside and integrate it with the community's natural landscape and heritage.

- 1. Protect the character of the existing natural setting by preserving important natural features, land forms and historic sites.**

New development should preserve and incorporate existing mature trees, native vegetation, water courses, topography and natural rock outcroppings into site design. Agricultural and rural site elements from the community's history, such as orchards, groves, corrals and older structures can often be incorporated into new development as special features.

- 2. Preserve and improve the historic character of the Lakeside Town Center and Lindo Lake area.**

Lakeside's historic Town Center, focused on Maine Avenue and its side streets, has potential for preservation and strengthening as a unique district of shops and services with a clearer physical relationship to Lindo Lake Park. New development and renovations in the Town Center should emphasize an historic character influenced by

some of the better older buildings of the district. While Maine Avenue is the focus of the Town Center, development on the side streets between Maine Avenue and Lindo Lake Park should be carefully designed to improve pedestrian linkages between the Town Center and Park.

- 3. Unify commercial development outside the Town Center and integrate it into the community landscape, minimizing the impact of signs, parking lots and traffic congestion.**

Lakeside's commercial areas outside the Town Center should avoid the character of commercial strip development - the tendency of each project and site to "stand out" from its neighbors, call attention to its parking lots and signs, and develop multiple driveway entrances on major streets. Lakeside's emphasis is preservation and enhancement of an outstanding residential community, where commercial development fits "quietly" into the landscape, is compatible in character with nearby residential neighborhoods, and contributes to a unified street character.

The Design Guidelines prescribe a 15-foot deep "Landscaped Street Edge Zone" along the street edges of all commercial development outside the Town Center. The Edge Zone will help integrate separate developments into a unified street image. Its design is limited to basic elements that reflect Lakeside's rural "feel" - trees and shrubs of rugged form, landforms and rock placements, low wood fences and stone walls. Signage is to be of limited height and size, carefully-designed and located.

- 4. Multi-family and duplex residential development should contribute to the sense of neighborhood by site planning and architectural design that emphasize the relationship of buildings to the street and adjacent properties.**

Lakeside residents recognize the need for a variety of housing types that accommodate residents with different economic means, lifestyles and preferences. All housing development, however, should contribute to the character of the town and its neighborhoods. Designs that have the character of isolated "complexes" or "projects" are not acceptable, nor are inconsiderate site plans that orient parking lots or rows of garage doors toward streets and neighbors. Instead, multi-family and duplex developments should follow a pattern similar to the tradition of older towns, orienting as many dwelling units as possible toward the street, with doors, windows, garden courtyards and porches as the dominant elements in public view.

Multi-family and duplex developments must provide adequate private and common usable open space for their residents to enjoy. The Design Guidelines prescribe desirable usable open space standards. Every dwelling unit must have access to private open space. Every development other than senior citizen housing must provide playground space for children. Common spaces such as courtyards, recreation areas and gardens are encouraged.

- 5. Preserve and enhance the quality of scenic roads throughout the Community Planning Area.**

Lakeside's scenic roads are an important element of the community's character and image. Among the most important are Willow Road, Wildcat Canyon Road, Lake Jennings Park Road Highway 67 (through Moreno Valley) and El Monte Road.

Other roads and streets may also contribute to a distinct feel of a rural residential environment. Existing natural features such as land forms, rock outcroppings and mature trees should be protected along these routes, with new grading and other man-made interventions minimized. Views from the road to the hills and valleys of the surrounding landscape should be preserved when siting new buildings and trees. New planting that continues the predominant existing species on a road or street is encouraged, as are other elements such as rustic fences, stone walls or agricultural artifacts that preserve historic character.

6. Carefully integrate new industrial development with the existing landscape, and minimize its visual impact on the community's residential neighborhoods and scenic resources.

Development of the Upper San Diego River Improvement Project and other future industrial areas will be an important economic opportunity and source of employment for Lakeside residents. Industrial development should carefully locate buildings and other facilities to minimize disruption of views to neighboring hillsides and mountains. The Design Guidelines prescribe strong planting requirements to screen industrial sites from view, creating a park-like background of vegetation that will dominate the built facilities.

PART 3. THE DESIGN GUIDELINES

INTRODUCTION

This part of the Guidelines, is divided into three sections:

A. General Guidelines Applicable to All Development.

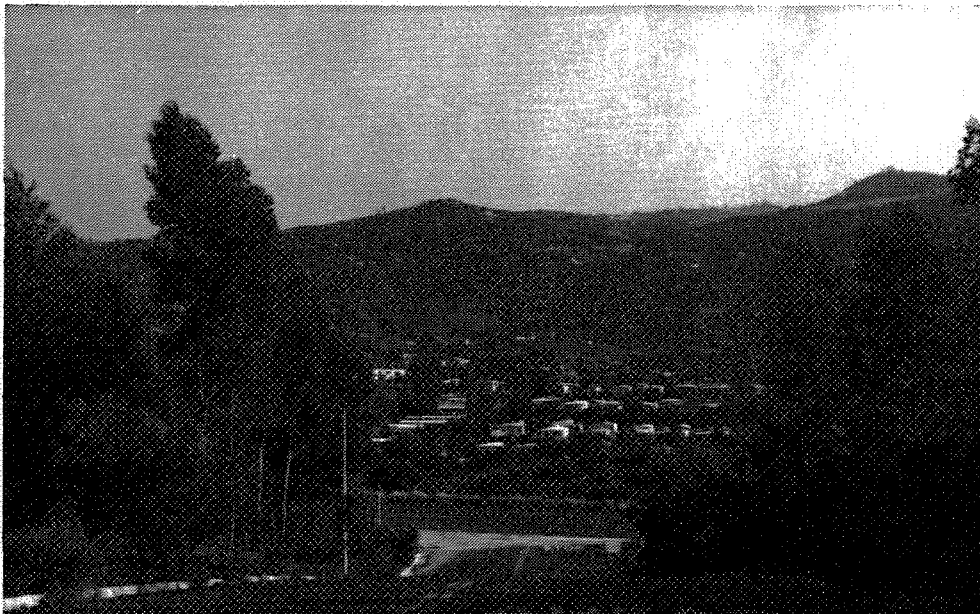
This section applies to all development in the Design Review program. These guidelines should be consulted where applicable to each project.

B. Guidelines by Development Type and Area.

This section applies to specific development types. In most cases only one set of the Guidelines in this section will apply to a development, though in the case of mixed use developments more than one may apply.

C. Guidelines For Areas With Special Environmental Considerations.

This section addresses Scenic Roads, Hillside Development and Development In Flood Plains. These features are natural elements of the community which contribute substantially to Lakeside's unique and special character. Developments which occur on property having one or more of these conditions should give extra attention to their preservation. This section applies to all development subject to Design Review. Voluntary compliance is recommended for projects not subject to Design Review.



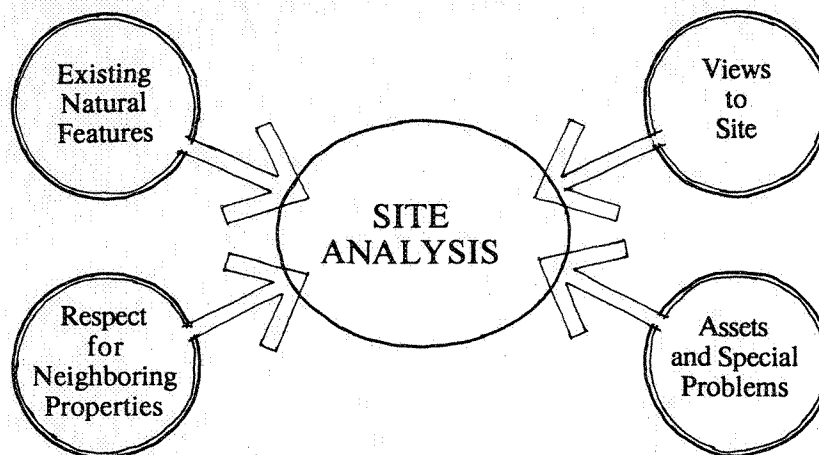
A. GENERAL GUIDELINES APPLICABLE TO ALL DEVELOPMENTS

A1. SITE DESIGN PROCESS

The quality of site design is the most important measure of a project's impact on the community and will be given first priority in the review of development proposals. Projects should demonstrate sensitivity to both the natural setting and to the neighborhood context. A project should also contribute to the community's design goals.

1. SITE ANALYSIS

- Each development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis will include a careful examination of a site's physical properties, its amenities, special problems, character and an examination of the neighboring environment. The analysis will assist the Design Review Board in evaluating the proposed development's relationship to existing conditions, neighboring properties and the community at large.



SITE ANALYSIS CONSIDERATIONS

- Although the steps in a thorough analysis will vary with the unique situation of each site and project, the following information is normally needed (see Part 4 for specific Design Review Application requirements):

- Basic Site Data: boundaries and dimensions; location of adjacent roads, sidewalks, and rights-of-way; location of setback lines and easements; existing structures and other built improvements.
- Existing Natural Features: location, size and species of trees and other important vegetation; topography, with areas of slope over 25% highlighted; patterns of surface drainage; location of flood plain; significant rock outcroppings; soil capability; ground water location; and other important features that are either amenities or potential hazards in development.

- **Neighboring Environment:** views to the site; land use and site organization of neighboring properties; form and character of neighboring buildings; important site details on neighboring properties which can be seen from the street (such as stone walls, fences and organized plantings). The Design Review Submittal Requirements include photographs of the site and neighboring properties.

2. GENERAL SITE DESIGN CRITERIA

A new development should establish a compatible relationship to the community as well as to neighboring properties:

- Demonstrate an overall design integrity and a serious attempt to contribute to the beauty and harmony of the community.
- Contribute to the community's design objectives.
- Develop compatible relationships to the land forms, building placement, and existing open spaces of neighboring properties.
- Respect the existing views, privacy, quiet, sun and light exposure of neighboring properties.
- When land use or development patterns require a project to be different from its neighbors, provide a transition from existing to new development by careful placement and massing of buildings, well-designed planting patterns and other means.

3. PRESERVATION OF EXISTING NATURAL FEATURES

Development proposals should demonstrate an effort to retain significant existing natural features characteristic of the community's landscape. Existing topography and land forms, drainage courses, rock outcroppings, vegetation and views should be recorded in the Site Analysis and incorporated, to the maximum extent feasible, into the future development of the land.

a. Mature Trees

- All mature trees should be retained when feasible. This will require careful judgment weighing the value and hierarchy of all natural features, the size and species of the tree, and the developer's program for the site. This Guideline is not meant to preclude removal of noxious or undesirable trees.
- Existing oaks over 8 inches in diameter are considered significant resources to be preserved. See Guideline A2. "Preservation of Significant Trees" for definitions and descriptions.

b. Topography

- Demonstrate an effort to minimize grading and alteration of natural landforms.
- Minimize potential problems created by building in areas of excessive slope, soil with poor bearing capacity, slide potential, flood plain or other hazards.
- Building pads should be sited within the zoned setbacks and are to disturb the natural contours as little as possible. Balancing of cut and fill areas is encouraged. See Guideline A2. "Preservation of Significant Trees", for grading techniques necessary for the preservation of existing trees.

c. Drainage

- Natural drainage courses are to be preserved as close as possible to their natural location and appearance. "Dry stream" effects which move the water over the property are preferred over channeling or undergrounding methods.

4. CIRCULATION AND PARKING

- Provide a clearly organized circulation plan for automobiles, pedestrians and service vehicles.
- Locate access points to public roads for safety and smooth traffic flow. Minimize the number of driveway openings to public roads.
- Parking and service areas should be located and landscaped to minimize public view from roads and neighboring properties.
- On hillside sites, roads and streets should generally follow existing land contours.

5. INTERNAL SITE DESIGN

- Buildings and open spaces should be organized to take advantage of the spaces between buildings as opportunities for outdoor activities, as transitions between indoors and outdoors, and as potential points of "focus" for the development.
- Buildings and building groups should strive to form compact clusters to economize in the use of land and create larger open spaces on the site.
- The site plan and planting should consider climatic conditions to provide shade from summer sun, natural ventilation and other measures to maximize energy efficiency and human comfort.

A2. PRESERVATION OF SIGNIFICANT TREES

The community recognizes that native oaks and other significant trees are important historical, aesthetic and ecological resources that contribute to the distinctive character of Lakeside. The purpose of this Guideline is to create favorable conditions for the preservation and propagation of this unique, irreplaceable plant heritage.

1. DEFINITIONS

- "Significant tree" shall mean any tree which is more than 12 inches in diameter as measured four and one-half feet (4'-6") above the root crown; or, any tree with a diameter of any two trunks of at least 16 inches as measured four and one-half feet (4'-6") above the root crown.
- "Oak tree" shall mean any tree of the quercus genus more than 6 inches in diameter as measured four and one-half feet (4'-6") above the root crown; or any such tree with a total diameter of any two trunks of at least 8 inches as measured four and one-half feet (4'-6") above the root crown.

2. GUIDELINES

- Site development plans should demonstrate a diligent effort to retain as many native oak and other significant trees as possible. In addition, other existing trees should be preserved to the maximum extent practical.

a. Criteria For Removal

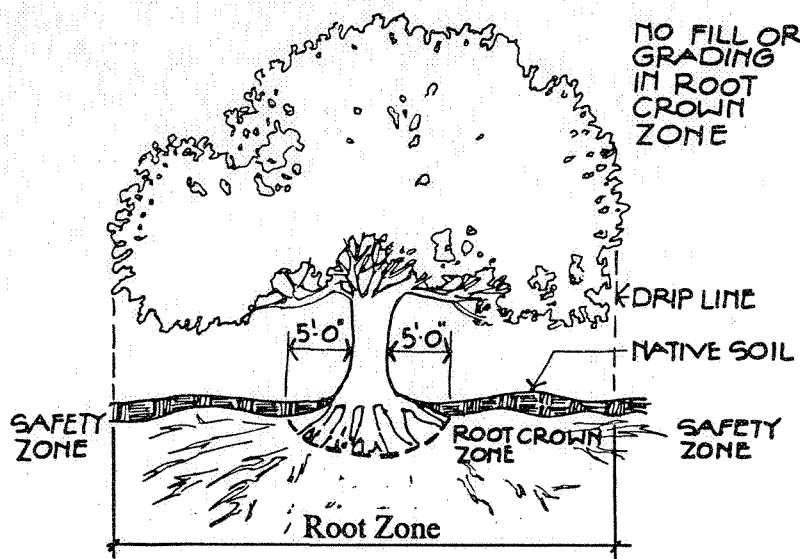
- In assessing the number of trees and specific trees that may be removed, the applicant and Design Review Board should consider the following criteria:
 - 1) The condition of the oak or other significant tree with respect to disease, danger of falling, and the proximity to existing or proposed structures. Should debate over the health of the tree arise, a licensed nurseryman should be consulted at the expense of the applicant.
 - 2) The necessity to remove an oak or other significant tree in order to construct proposed improvements to prevent economic hardships to the owner of the property.
 - 3) The topography of the land and the effect of oak and other significant tree removal on erosion, soil retention, and the diversion or increased flow of surface waters.
 - 4) The number of oak or other significant trees existing in the neighborhood. Decisions should be guided by the contribution of significant trees to the visual character of the neighborhood.
 - 5) Good forestry practices, such as the number of healthy oak or other significant trees which a given parcel of land or area can support.

b. Where Significant Trees Have Been Removed

- When oaks or other significant trees must be removed, replanting with the same species is recommended. Open spaces, recreation areas, and terraces are appropriate areas for oaks. Parking lots and lawn areas are appropriate areas for many of the other significant trees. Because oaks grow slowly, plant 24" box trees as replacements. Other significant trees may be replaced with 15 gallon sized plants. Designers of each site should take responsibility for the correct site conditions required for each type of tree.

c. Techniques For Preservation Of Oaks

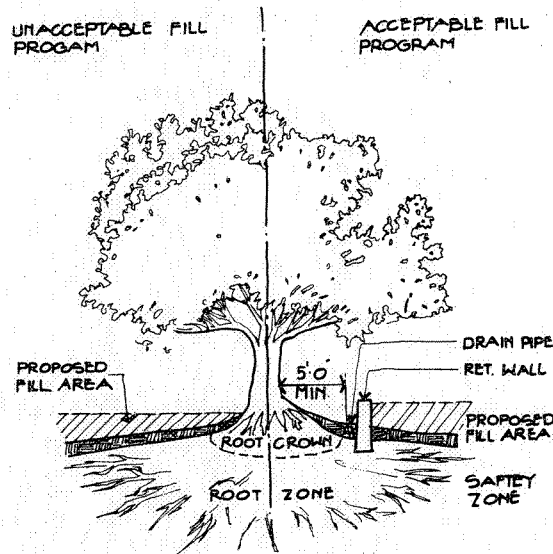
The most critical issue in the care and maintenance of an existing oak is the altering of conditions under which that tree has grown for possibly 200 to 300 years. "Altering" includes changing the grade within the drip line, changing watering practices from natural rainfall to supplemental irrigation, changing the leaf litter beneath the trees, changing drainage patterns, and of soil around roots caused by heavy equipment.



- Should changes of grade be necessary, the following steps may be taken:

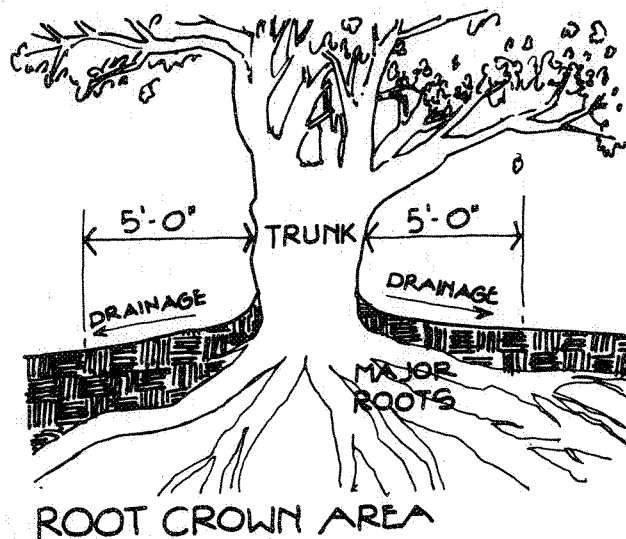
- 1) Establish radius of existing root system by using soil probes or equivalent. This establishes a safety zone outside of which grading is possible. New development may dictate gradual root pruning when construction extends into the safety zone. Consult a nurseryman for proper techniques. Root pruning enables roots to be cut for a lowering of the natural grade. Under no circumstances should soil be added around the root crown, but soil may be added over the extended drip line if the root crown is protected by retaining devices.

- 2) Overwatering oaks during the summer creates conditions favorable to root rot and oak root fungus. Besides reducing water to the root zone, draining water off the root crown quickly is vital for the health of the tree. Sloping soil away from the root crown improves drainage by creating rapid water runoff. In heavy soils, such as clays, leach lines installed within drip line and extending out to drainage courses may be necessary to increase drainage. In all cases, the goal is to duplicate the native conditions under which the oak has lived. Essentially, if the existing conditions were dry, leave them dry; if they were wet, leave them wet.



3) Leaf litter is the accumulation of live and decaying leaves at the base of a tree. In the case of oaks, this litter contributes to a cool atmosphere for root growth, and an acid condition resulting from the decaying of the leaves. When possible, leave the natural litter in place.

4) Poor drainage caused by a change in grade or compaction produces constant moisture at the base of the trunk. Growing lawns beneath oaks also frequently produces poor drainage. This problem can be averted by using other ground covers, sloping the natural grade away from tree, and diverting sprinklers away from trunk. A dense turf or compacted soil can greatly reduce aeration in the soil. Reduced aeration plus excessive water favors development of harmful soil organisms, such as oak root fungus, which may be present in an inactive stage until stimulated by favorable growing conditions or even mechanical root injury.



In summary, native oaks are extremely sensitive plants. Minimal grade changes within the drip line can drastically affect aeration of the roots and drainage around the root crown. Avoid changes of grade, if at all possible. Avoid summer irrigation which would produce constant moisture at root crown. Treat oaks with the care they deserve!

A3. OLD AND NEW DESIGN RELATIONSHIPS

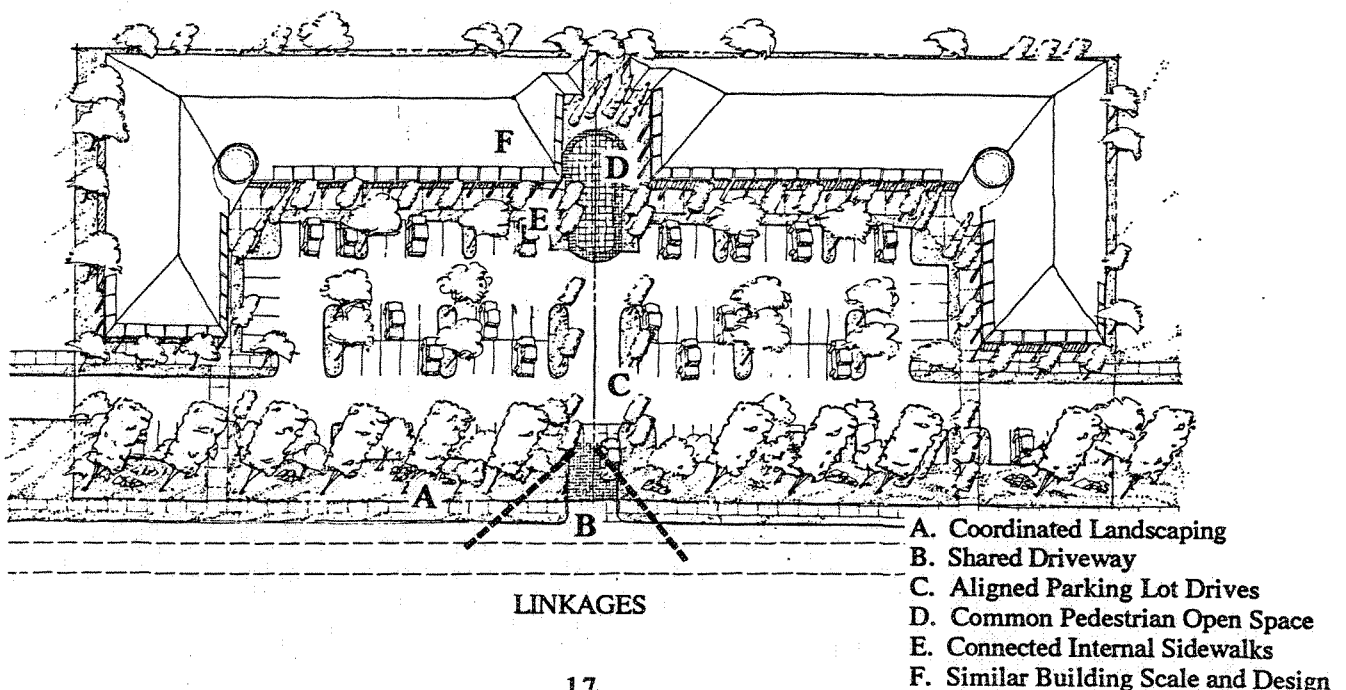
All development proposals should show evidence of harmony with the site plan, arrangement of building forms and landscape design of neighboring properties.

The degree to which neighboring sites and buildings must be considered in the design of a new project will depend upon the value, architectural quality and estimated tenure of improvements on the neighboring property, as well as the particular requirements of the new project. While a firm rule for design is not possible, every new proposal should demonstrate that it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between old and new.

Drawings, models and/or other graphic communication techniques presented to the Design Review Board must show neighboring buildings and important features of adjacent sites. Existing features should be shown in sufficient detail to enable evaluation of the relationship of the proposed development to its context. Perspective views of the proposed project and its immediate neighbors, as seen from the street, sidewalk or other public place, are encouraged.

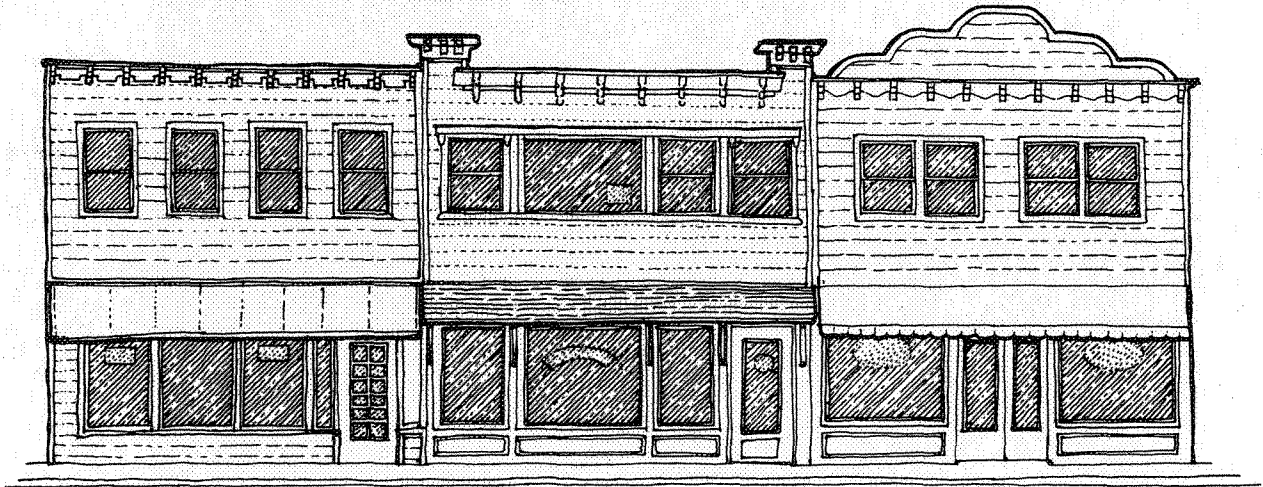
1. SITE PLANNING

- The site organization should respect the arrangement of buildings, open spaces and landscape elements of adjacent sites. When possible, buildings and open spaces should be located for mutual advantage of sunlight, circulation and views.
- When feasible, new commercial projects should be linked to adjacent projects to encourage internal circulation by pedestrians and automobiles. This will provide for architectural consistency, pedestrian convenience and reduced traffic loads on adjacent streets. The method of linkage will depend on specific conditions of each site and project. The linkage could be as simple as a connecting sidewalk, or as complex as integral driveways, covered walkways and integrated landscaping. Applicants are encouraged to be creative in their solutions to this issue keeping in mind the intent.



2. ARCHITECTURAL DESIGN

- Efforts to coordinate the actual and apparent height of adjacent structures are encouraged. This is especially applicable where buildings are placed very close to each other, as they are in the Town Center. It is often possible to adjust the actual height of a wall, cornice or parapet line to be a similar height to that of an adjacent building. Design linkages can also be achieved to adjust the apparent height by placing window lines, belt courses or other horizontal elements in a place or pattern that reflects the same elements on neighboring buildings.



BUILDINGS RELATED BY COMMON OR COORDINATED FACADE ELEMENTS

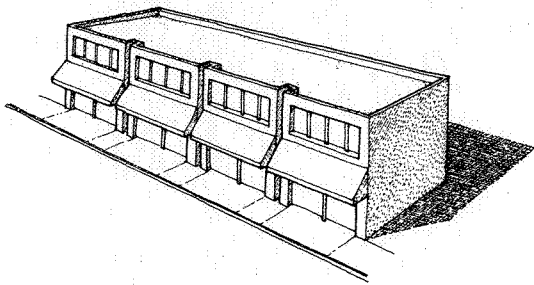
A4. ARCHITECTURAL CHARACTER

- Respect the scale of the community with regard to the apparent size of new buildings.
 - Building form, mass and elevations should be articulated to create interesting roof lines, shadow patterns and architectural detailing.
 - Buildings should incorporate existing natural features as design elements.
-

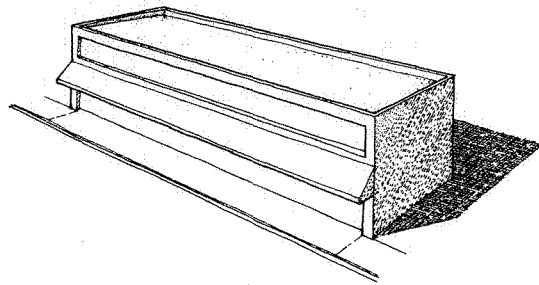
This Guideline applies to all developments subject to Design Review. More specific guidelines for the Town Center are given in Guideline B1.

1. BUILDING FORM

- On principal elevations, large or long continuous wall planes should be avoided. As a general rule, building surfaces over 50 feet in length should be relieved with a change of plane or architectural treatment that provides a strong vertical shadow line and visual interest.

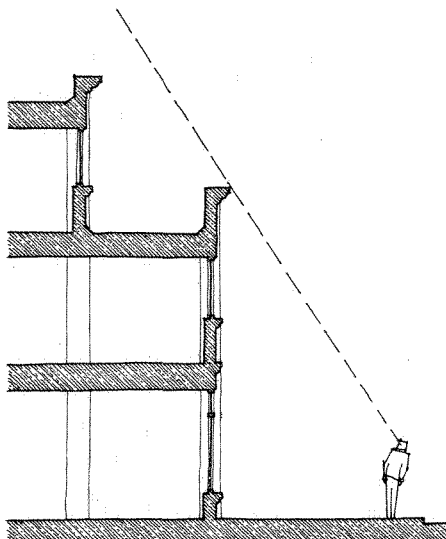


DESIRED APPARENT WIDTH



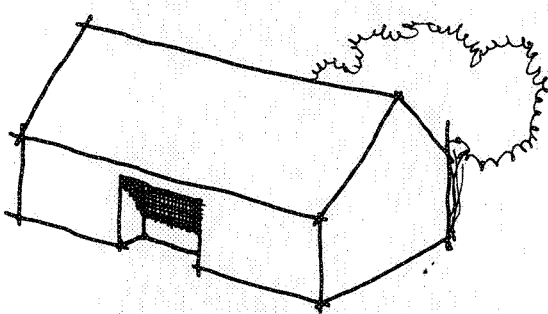
NOT DESIRED APPARENT WIDTH

- Buildings over 2 stories in height should “scale down” their street facing facades to reduce apparent height.

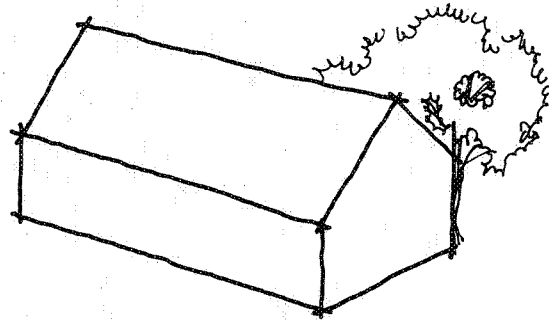


APPARENT HEIGHT

- The visual contrast of light and shadow gives buildings depth and substance. Every building should have some shadow relief. Offsets, projections, overhangs and recesses to produce areas of shade and shadow.



RECESSED AREAS
PROVIDE SHADOW RELIEF



NO SHADOW RELIEF

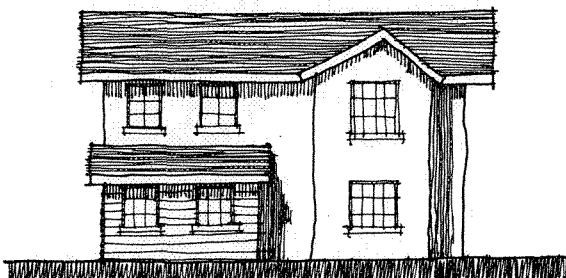
2. MULTI-BUILDING PROJECTS

Multi-building developments should strive for a consistency of design among separate structures.

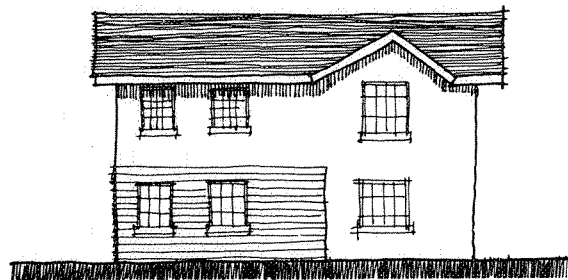
- Facades and roof lines facing streets, parking areas and residential neighbors should be consistent throughout the development in design, color and materials.
- Rear facades, if visible from public streets or neighboring properties, should be finished in a quality, color and material similar to the principal sides of the building(s).

3. BUILDING MATERIALS

- Material changes are more effective if they do not occur in the same plane. Instead they should intersect with an architectural element, such as a chimney, projection or pilaster.



RECOMMENDED MATERIAL CHANGES



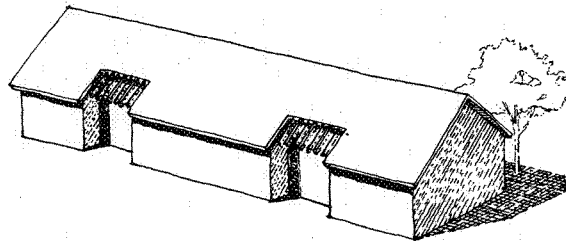
NOT RECOMMENDED

- Architectural elements, signage and other facade elements should be integrated into the design of the facade.
- A building's colors should be chosen for their compatibility with the architectural style. The number of different colors should be kept to a minimum. Colors should not be used which attract undue attention to the development.

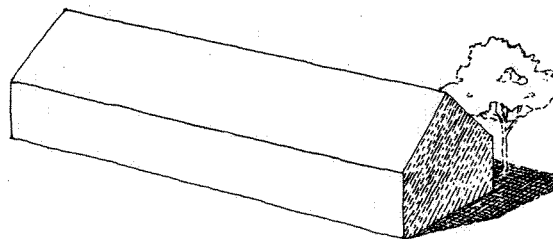
- The following is a list of building materials whose use is encouraged:
 - Cement plaster (stucco) over masonry or wood frame.
 - Exposed timber structural members.
 - Brick, adobe and native stone.
 - Concrete and concrete masonry with textured surfaces and integral color.
 - Wood siding.
- The following is a list of building materials whose use is discouraged:
 - Large areas of glass, unless located at pedestrian level for storefronts.
 - High contrast color glazed masonry except for small areas of detail.
 - Glass curtain walls.
 - Synthetic materials made to resemble masonry.

4. ROOF FORMS

- For sloped roofs, long unbroken planes should be avoided. As a general rule, building roofs over 100 feet in length should be relieved with a change of plane or other treatment that provides visual interest. In many cases a complementary plan offset will enhance the affect of a change in roof plane.



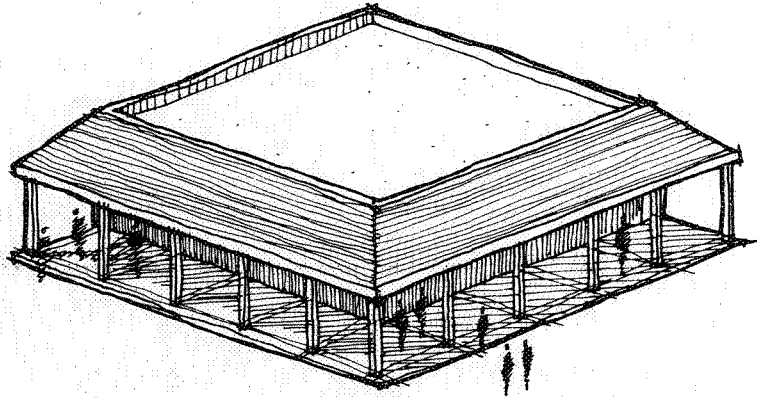
RECOMMENDED "BROKEN" ROOF LINE



NOT RECOMMENDED

- Gabled, hip and shed roof forms at a moderate to steep pitch are encouraged. Overhangs to create strong shadow lines are also encouraged. In the Town Center, where flat roofs are more common to older buildings, flat roofs may be used to provide continuity between old and new buildings.
- Wide eaves are encouraged to create deep shadows on building walls and to reduce the amount of sunlight striking glass surfaces.

- When flat roofs are used in large commercial and industrial buildings, they should incorporate shed roofs, trellises or loggias to "scale down" a structure and provide shadow relief.



SCALED DOWN FLAT ROOF

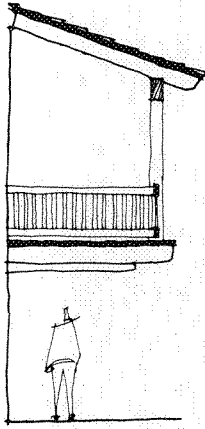
- The following is a list of roof materials whose use is encouraged:
 - Clay tile.
 - Concrete tile.
 - High profile composition shingles.
- The following is a list of roof materials whose use is not recommended:
 - Wood shakes and shingles.
 - High contrast color, brightly colored glazed tile or highly reflective surfaces.
 - Corrugated or galvanized sheet metal.

5. ENTRANCES, WINDOWS AND DOORS

- Primary building entrances should be emphasized so that their location is apparent and clear. Porches, loggias and canopies are helpful to call attention to an entrance.
- Entries and entry doors may be designed as a focal point of the front elevation. Detail treatments at doors and entries can range from the use of tile, color accents, exposed timbers or combinations of architectural features such as pediments, moldings and small roofs which can also provide protection from weather.
- Windows and doors should be recessed to create strong shadow lines.

6. EXTERIOR SPACES

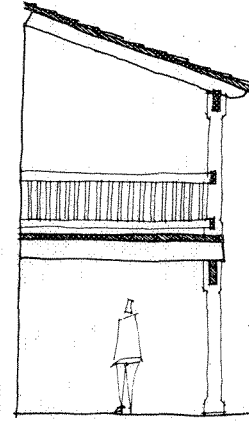
Outdoor spaces such as balconies, verandas, patios and loggias. Their use is encouraged.



VERANDA



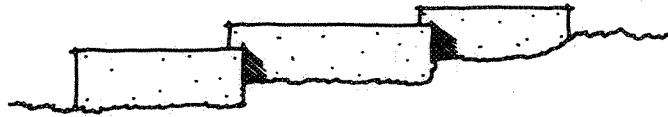
PATIO



LOGGIA

7. WALLS, FENCES AND ACCESSORY STRUCTURES

- Walls on sloping terrain should be stepped at regular intervals to follow the terrain.



STEPPED WALL TO FOLLOW TERRAIN

- Solid fences and walls along public streets can have a negative impact on the surrounding neighborhood and should be minimized. When solid walls are used to buffer traffic noise, as is sometimes necessary in residential projects along major streets, the walls should reduce their monotonous tendency by providing a change of plane at a minimum of 50 foot intervals. Fences and walls over 3 feet high which face public streets should provide a fully landscaped buffer at least 5 feet deep on the street facing side of the wall.

- Fences, walls and accessory structures should be designed to be compatible with adjacent buildings. Patio covers, green houses, storage spaces and other ancillary structures should be located and designed to respect the views and other special conditions of adjacent properties.

- The following is a list of wall and fence materials whose use is encouraged:
 - Native stone.
 - Masonry with cement plaster finish.
 - Wood framing with cement plaster finish.
 - Detailed wrought iron.
 - Wood.
 - Brick.



STONE WALL

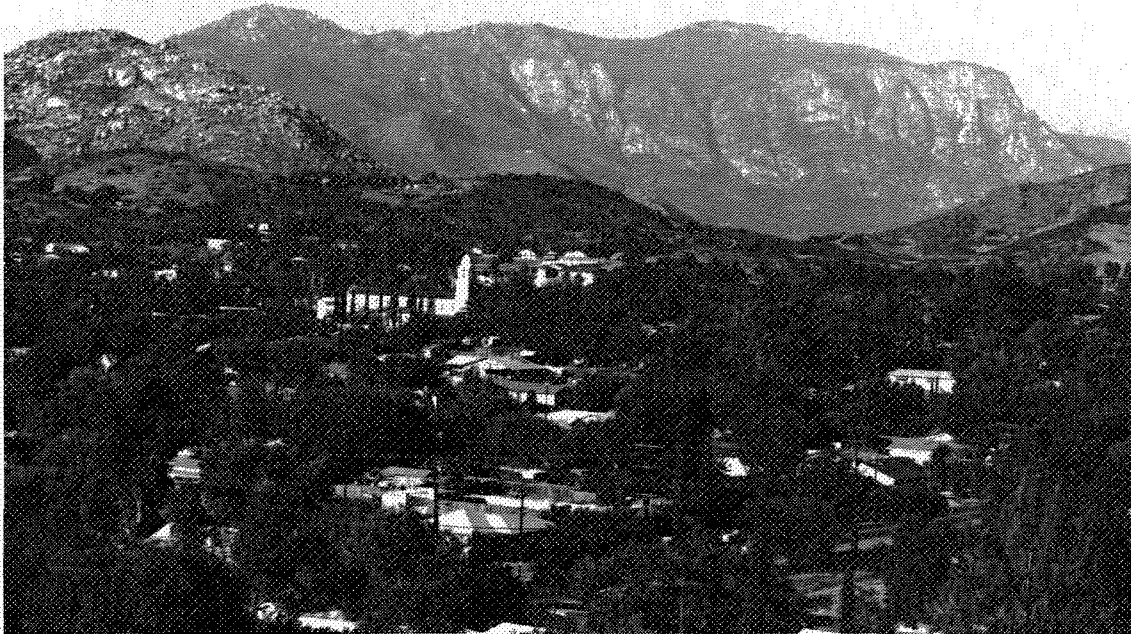
- The following is a list of wall and fence materials whose use is discouraged:
 - Chain link or open wire, except when heavily screened by landscaping.
 - Corrugated metal.
 - Bright colored plastic or plastic coated materials.

8. SITE DETAILS AND FURNISHINGS

- The design, selection and placement of all site furnishings such as tables, benches, bollards and trash receptacles should be based on consideration of the overall concept of the site and architectural character of the project.

A5. LANDSCAPE CHARACTER

- Planting design should reflect Lakeside's rural character and history.
 - Plant selection should recognize the importance of water conservation and emphasize drought tolerant plant species.
-



1. DESIGN CONCEPTS

There are two overall principles which are the foundation of the landscape design guidelines for Lakeside:

- Tree lined streets were an important part of Lakeside's past. This historic pattern should be re-established in new development. Important streets in the community have been designated for the planting of specific tree types. These are listed in Appendix B. Tree selection should be influenced by the width of the street; a wide street requires a tall, impressive tree along its edges, a narrow street should have a smaller tree.

To compliment the trees and enhance the rural feeling, these guidelines encourage the planting of shrub masses beneath the trees, rather than expanses of lawn or ornamental ground covers. Shrubs will provide flower color, fragrances, and important screening considerations. Drought resistant grasses are encouraged beneath trees to evoke the feeling of the grassy valley in Lakeside.

- The second, but equally important consideration is Lakeside's water supply. Water will become scarce and more expensive as development increases. In order to create a landscape which will endure future drought conditions and still bring pleasure to Lakeside residents, plant materials must be selected carefully.

A plant selection guide, Appendix A, exists at the end of this manual. Shrubs are also listed for use as low, foreground plantings, as well as valuable screens and space definers. Shrubs are more deeply rooted than lawns and ornamental ground covers and will, therefore, withstand drought better.

Criteria for plant selection in these guidelines are as follows:

- Appropriateness for climate zones.
- Low water use after established.
- Form considerations: size, branching structure, density.
- Aesthetic considerations: flowering, leaf color, fall color, etc.
- Maintenance considerations.
- Continuance of existing, desirable native plantings along the road edge.

2. GENERAL GUIDELINES

- Site areas not used for buildings, parking or other designated functions are encouraged to be planted.
- All landscaped areas should have an underground irrigation system capable of sustaining good plant growth. Automatic systems are encouraged.
- All planting beds should be mulched with an organic mulch of at least 2 inches in depth.
- Because shrubs are more drought tolerant, the use of low creeping shrubs as groundcovers is strongly encouraged over shallow rooted ornamental ground covers and turf grasses.
- When existing trees are to be retained, they may be counted toward tree planting requirements. New planting requirements may be further adjusted to reflect the size and density of existing trees and shrubs.

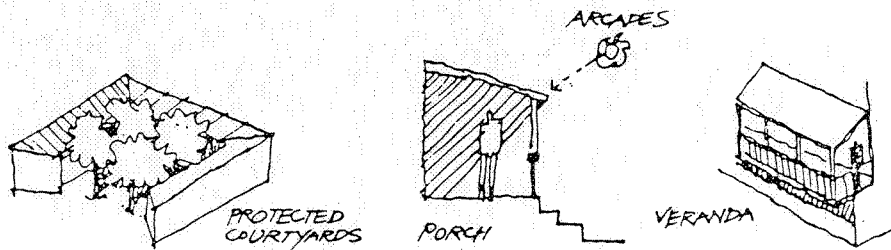
3. PUBLIC RIGHT-OF-WAY

All public right-of-way areas between a newly-developed property and the existing sidewalk or street edge should be fully landscaped. However, trees should not be planted in the right-of-way.

A6. DESIGN FOR CLIMATE AND ENERGY CONSERVATION

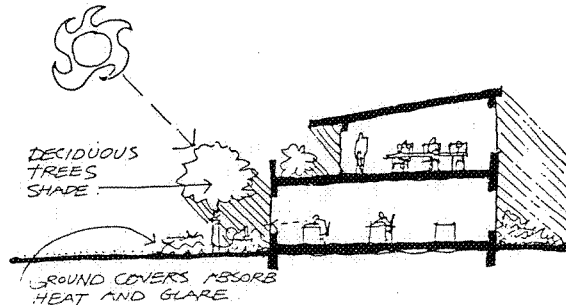
All development projects should strive for site planning, planting and building design which reduces energy consumption and provides more comfortable indoor and outdoor living spaces.

- Protected courtyards, porches, arcades, loggias, verandas and overhangs are effective means of shading exterior wall surfaces and windows from direct sun exposure. These elements are easily added to buildings as temperature-moderating elements. An additional benefit is their ability to add visual character to the building.



COURTYARDS, PORCHES AND VERANDAS

- Deciduous trees used on the south and west sides of a building can provide shade in summer while allowing sun penetration in winter.



TREE SHADING

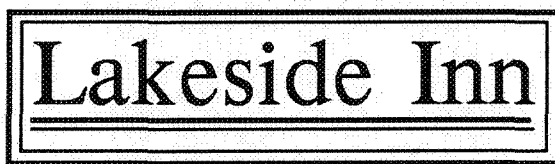
- Roof overhangs on south-facing walls offer effective protection of window areas from summer sun while admitting lower winter sun rays.
- South-facing courtyards may be used to create protected outdoor spaces, giving the site a more favorable microclimate for year-round activities.

A7. SIGNAGE

- All signs should be a minimum size and height to adequately identify a business and the products or services it sells.
 - Signage design should be carefully integrated with the site and building design concepts to create a unified appearance for the total development. Within a development, signage should be consistent in location and design.
-

1. GENERAL DESIGN CRITERIA

- All monument signs should be kept as low to the ground as possible.
- Signs should be carefully located for safety so as not to block driveway views of oncoming traffic.
- Illumination should be projected onto the sign face. The light source should be fully shielded from view. Internally illuminated plastic signs are discouraged.
- Color of all signs and sign components should be limited to 3 in addition to black and white.
- Typefaces should be chosen for their simplicity and clarity. Signs on older buildings are encouraged to use a typeface which was used in the period when the building was built.
- To calculate the size of a sign, measure:
 1. The area of the box or outline which contains the sign, or
 2. In the case of unboxed letters or symbols, the area of the smallest rectangle which would enclose all of the letters or symbols.
 3. Only one face of a double-faced sign with parallel opposing faces, and bearing identical copy, shall be used in calculating a sign area. Signing and illumination shall be on two opposing faces only.



Measure The Sign Box

MEASURING A BOXED SIGN



Measure The Imaginary Box

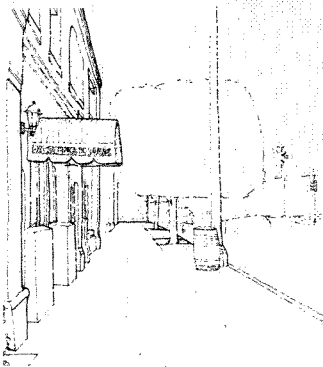
MEASURING AN UNBOXED SIGN

- Sign posts and other structural elements should be made of wood or metal with a white, black, earth tone or natural stain finish. Reflective or bright colors should be avoided.
- No sign, other than a sign installed by a public agency, should be placed in the public right-of-way on sidewalks or streets, except signs which hang over sidewalks in the Town Center. All overhead signs should clear adjacent sidewalks with a minimum headroom of 7 feet, and should project no more than 4 feet into a public right-of-way.
- No sign should be allowed above the highest portion of the building.

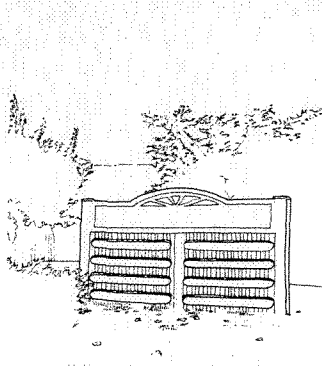
2. RECOMMENDED SIGN TYPES

The following types of signs are generally recommended by the Guidelines. Sections following indicate further recommendations based on uses and districts.

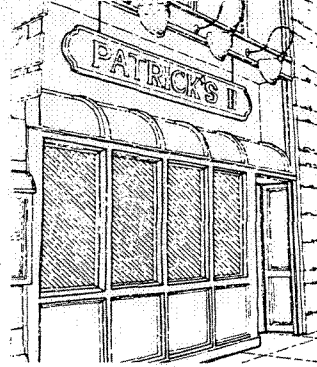
- **Awning Valance:** A sign or graphic attached to or printed on an awning's valance.
- **Monument :** A sign supported by one or more uprights or braces on the ground, not exceeding 4 feet in height.
- **Hanging:** A sign attached to and located below any eave, canopy or awning.
- **Kiosk:** A small freestanding structure which has one or more surfaces.
- **Projecting:** Any sign which projects from and is supported by a wall of a building with the display surface of the sign perpendicular to the building wall.
- **Wall:** A sign affixed directly to an exterior wall or fence.
- **Window:** A sign affixed to or behind a window, no larger than 25% of the window on or behind which it is displayed.
- **Single Pole Hanging Sign:** A sign which is suspended from a horizontal arm which is attached to a pole no higher than 6 feet in height.



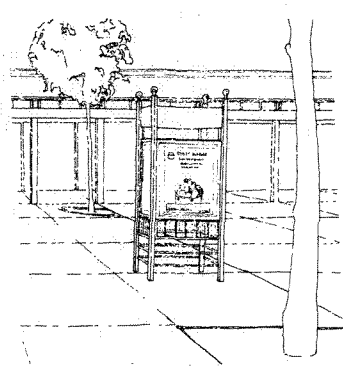
AWNING VALANCE



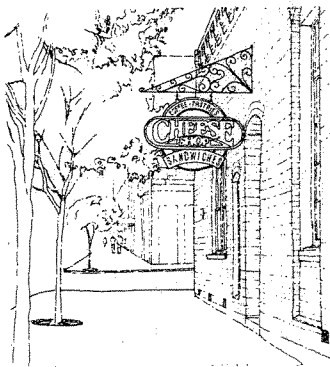
MONUMENT



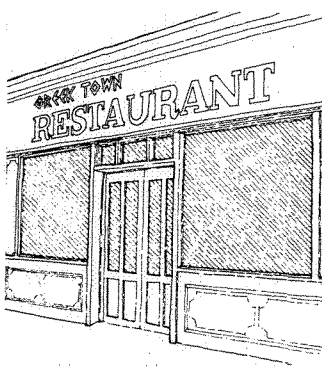
HANGING



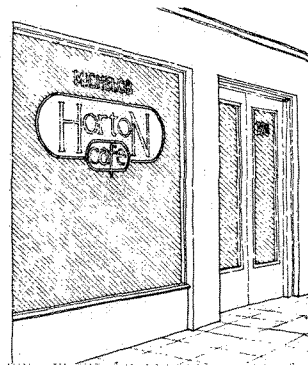
KIOSK



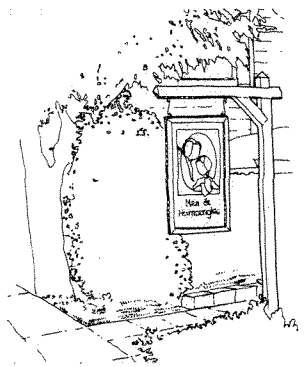
PROJECTING



WALL



WINDOW



SINGLE POLE HANGING

3. SIGN GUIDELINES BY USE

a. All Commercial And Industrial Development

- Letter and symbol height should be limited to a maximum of 8 inches.
- Where frontage is defined as the length of the building(s) facing the principal street of the development (each project can only have one frontage):
 - 1) For frontages up to 100 lineal feet, the total sign area should be limited to one square foot of sign area per linear foot of building frontage, to a maximum of 65 square feet.

- 2) For frontages over 100 lineal feet, the total sign area should be limited to 3/4 square foot of sign area per lineal foot of building frontage on a public street or private drive, to a maximum of 90 square feet.
 - 3) For projects with more than one tenant:
 - a) One sign to identify the complex allowing one square foot of sign area per lineal foot of total project frontage up to 75 square feet and
 - b) For each individual tenant with frontage on a public street, 1/2 square foot of sign area per lineal foot of tenant frontage, to a maximum of 25 square feet and
 - c) One building directory sign not exceeding 10 square feet in size may be allowed at each public entrance.
- Sign types which are recommended for Commercial and Industrial developments:
 - Awning Valance.
 - Monument.
 - Hanging. This sign type will be work well with covered walkways along Maine Avenue.
 - Kiosk.
 - Projecting.
 - Wall.
 - Window.
 - Single Pole Hanging.
 - Kiosk signs should be limited to 8 feet in height and only used on private property.

b. Town Center Commercial Development

- Sign types and guidelines which are recommended for the Town Center include all the types and guidelines listed for Commercial and Industrial developments except that monument signs are discouraged.

c. Multi-Family Residential Development

- There should be no more than one sign per multi-family residential development entry from a public street or road.
- Sign area should be limited to 10 square feet for projects of less than 25 dwelling units, and 25 square feet for projects with 25 or more dwelling units.
- Sign types which are recommended: Wall, Hanging, Single Pole Hanging and Monument.

4. PROHIBITED SIGNS

- The following signs should not be used in Lakeside:
 - Roof and parapet signs.
 - Internally illuminated and back lit signs which appear to be internally illuminated. Other plastic signs are discouraged, except where plastic is used only as raised letters.
 - Pole signs over 6 feet high.
 - Portable or mobile signs.
 - Signs which cover or interrupt architectural features.

5. FREEWAY SIGN EXEMPTIONS

Commercial properties visible from the Interstate 8 Freeway may have one freeway-oriented sign exempt from the preceeding guidelines. The sign should comply with provisions for Freeway Signs in the County Zoning Ordinance.

A8. SITE LIGHTING

Lighting should be used efficiently to aid safety, security and to compliment architectural character without intrusion into adjacent properties, roadways and the night sky.

1. GENERAL REQUIREMENTS

- All lighting shall, at minimum, follow San Diego County Zoning Ordinance Division 6322.
- Limit the amount and intensity of lighting to that necessary for safety, security and to compliment architectural character. Lighting which interferes with the character of the surrounding neighborhood is not acceptable.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.
- Service area lighting should be designed to avoid spill over into adjacent areas.

2. PARKING AREA LIGHTING

- For commercial parking areas overhead lighting should be mounted at a maximum height of 15 to 20 feet above the paved surface.
- For residential parking areas, overhead lighting should not be mounted at a height in excess of 15 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.

3. WALKWAY, GARDEN AND PEDESTRIAN AREA LIGHTING

- Overhead fixtures used for pedestrian areas should be limited to heights between 8 and 12 feet.
- Overhead lighting of walkways should be located so that light patterns overlap at a height of 7 feet to assure full illumination of a person's body.
- Along walkways, low-level lighting in the form of bollards or fixtures mounted on short posts is encouraged. When this type of lighting is used, fixtures should be placed to minimize glare. Shatter proof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.

A9. BUILDING EQUIPMENT AND SERVICES

Carefully locate and design building equipment and services to minimize visual impacts on public streets and neighboring properties and “soften” their appearance.

- In larger commercial developments, service and loading areas should be separated from main circulation and parking areas. The development of separate buildings in larger commercial projects does not exclude them from the requirements of screening trash, loading or service areas.
- Trash containers and outdoor storage areas should be screened from view from public streets, pedestrian areas and neighboring properties. The screen for the trash containers should be designed to be compatible with architectural character of the development and be of durable materials.
- Locate utility meters in screened areas.
- Exterior surface mounted utility conduit and boxes should be kept to a minimum. Where they do exist, they should be designed, painted or screened to blend in with the design of the building to which they are attached.
- Mechanical equipment, solar collectors, satellite dishes, communication devices and other equipment should be concealed from view of public streets, adjacent properties and pedestrian oriented areas to the extent technically practical. Dark-colored mesh satellite dishes are encouraged.
- Roof mounted equipment should be screened from view from adjacent roads, properties and pedestrian areas. Special attention should be given to changes in elevation which may provide a view down to a roof. In this case enclose the equipment in a screened shelter or design the layout of exposed equipment in an orderly fashion with consideration given to painting them to be compatible with other visible colors on the roof.
- Where solar panels are attached to buildings they should be integrated into the architectural design of the building. Solar panels which are not attached to buildings should be integrated into the landscape design by using berms, natural slopes or similar devices. Where solar panels cannot be integrated into the landscape design they should be screened from view with fences and/or planting. All plumbing and storage tanks associated with solar panels should be concealed from view.
- Screening devices (roof top and ground level) should consider the following elements:
 1. Architectural screens should be an extension of the development's architectural character.
 2. Screen walls should be constructed of low maintenance and durable materials which are consistent with the main building's materials.
 3. Landscaping should be used in conjunction with building materials to complement ground level screening devices.

A10. PRESERVATION OF HISTORIC BUILDINGS

The community of Lakeside has a respectable and memorable role in the history and development of San Diego County. This history is recorded, in part, in many of the built structures still remaining from Lakeside's early years.

- New development should recognize, respect, preserve and be compatible with existing significant built elements of Lakeside's history.
-

A building exhibiting historic character from the period in which it was built can substantially contribute to the character of a new development. To what degree a building should be retained will depend on which of the following 3 categories it falls in to:

1. In some cases an existing structure may already be a Designated Historic Site or may be in a Designated Historic District. In this case there are existing procedures and laws for pursuing renovation and new construction. The Planning Department staff for the San Diego County Historic Site Board should be contacted immediately for assistance. Their offices are located in the San Diego County Department of Planning and Land Use.
2. In other cases a site may not be designated, yet it may be suspected of being a significant part of Lakeside, California or United States history. If a site is suspected of being historically important the following steps should be taken:
 - Contact Planning staff for the San Diego County Historical Site Board for input and direction.
 - Research to establish validity of the site's historic role.
 - Nominate the site for Historic Registration if it so merits.
 - Incorporate the historic site and qualities into new improvements and development per San Diego County Zoning Ordinance Division 5700.
3. The third possibility is that a building or structure exhibits a good deal of the character of a period but does not necessarily qualify as a Historic Site for purposes of designation. This does not, however, mean that an older building cannot contribute to the historic continuity of the community.
 - All older buildings which retain much of their original design character should be retained and should have all alterations or additions done with Compatible Uses and Compatible Designs as described in the San Diego County Zoning Ordinance Division 5718. The Secretary of the Interior's "Standards for Rehabilitation and Guideline for Rehabilitating Historic Buildings" published by the U.S. Department of the Interior, National Park Service, should be reviewed and used.
 - New buildings which are built on to or adjacent to older buildings of substantial historic character should be designed to be respectful of the older buildings. While not mimicking the older buildings, new structures should consider the compatibility of details, materials, textures, colors and landscape features. These elements, and others, are discussed in greater detail in Guideline A3. "Old and New Design Relationships."

B. GUIDELINES BY DEVELOPMENT TYPE AND AREA



MAINE AVENUE IN THE TOWN CENTER

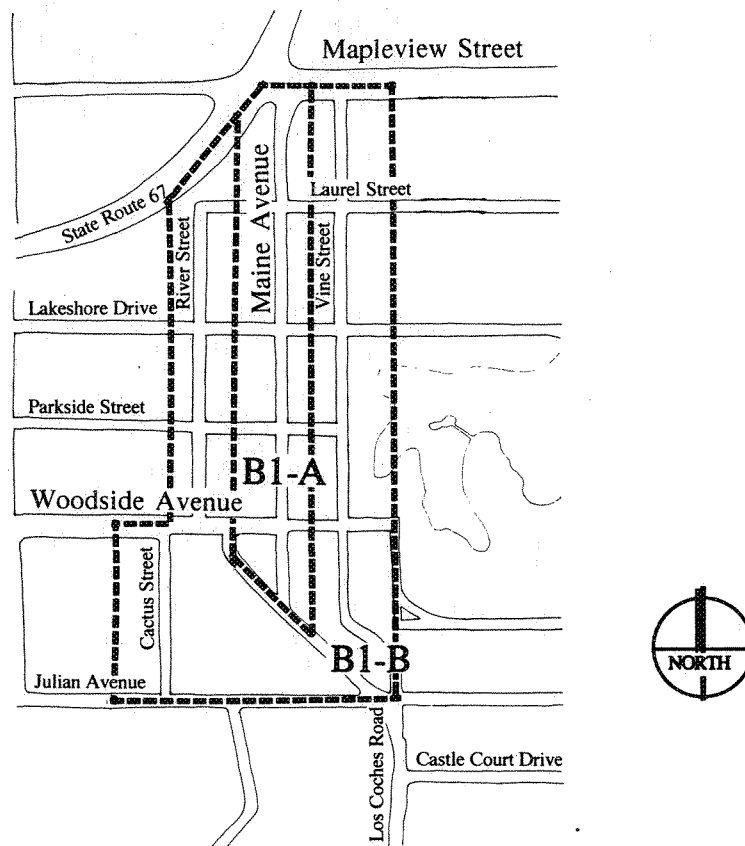
B1. COMMERCIAL DEVELOPMENT IN THE TOWN CENTER

INTRODUCTION

Lakeside's Town Center is located in the heart of the community and is made up of two basic sub-districts. Each sub-district has its own special characteristics which contribute to the overall atmosphere of the village.

The first sub-district (Guideline B1-A) is the oldest and most central area in the community. It fronts directly on Maine Avenue beginning at Maplevue Street on the northern end of the Town Center, and ends at Julian Avenue on the southern end of the Town Center.

The second sub-district (Guideline B1-B) surrounds Maine Avenue on adjacent side streets. This area is characterized by less intensive retail and commercial uses and includes some single family homes which may eventually be used for commercial purposes.



B1 - A Maine Avenue Sub-District

B1 - B Town Center Side Streets Sub-District

TOWN CENTER BOUNDARY MAP WITH SUB-DISTRICTS

B1-A. COMMERCIAL DEVELOPMENT IN THE TOWN CENTER MAINE AVENUE

New and remodeled buildings in the Town Center should be designed to "FIT" into the village by:

- Retaining the "Street Wall" along the east side of Maine Avenue.
- Encouraging pedestrian activity and active building frontages.
- Locating parking lots away from street view.
- Enhancing the historic image of the Town Center.

This Guideline applies to all commercial development along Maine Avenue.



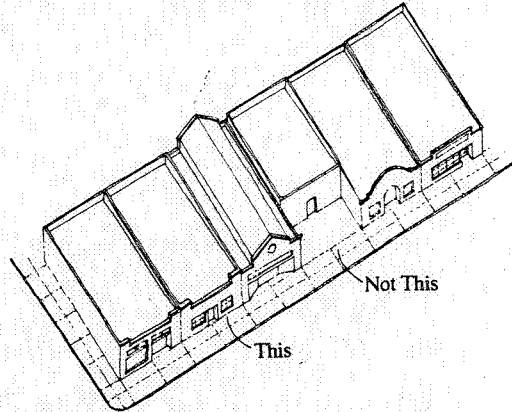
B1 - A Maine Avenue Sub-District

1. SITE PLANNING

- On the east side of Maine Avenue, place as much of the front facade of buildings as possible on the front property line to maintain the the continuity of the "Street Wall." Pedestrian oriented spaces formed by architectural elements such as covered walkways, colonnades, and trellises are encouraged. Courtyards and other pedestrian spaces facing

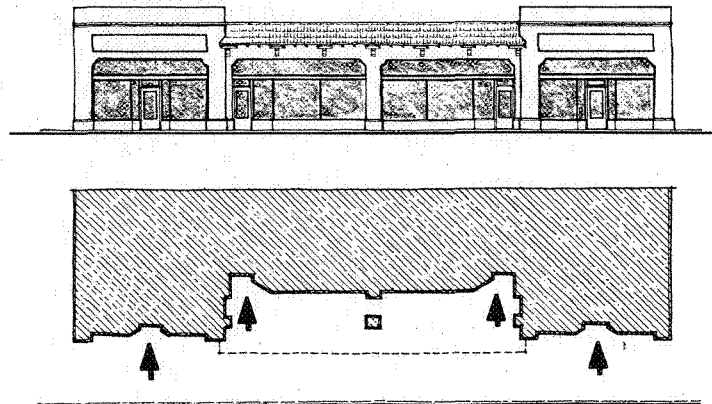
the street are also encouraged, but should be limited to fifty percent of a building's street facade. Gaps in the street wall are discouraged.

- Buildings on the west side of Maine Avenue may follow the pattern of the preceeding paragraph, or provide a planted Front Yard space as described in Guideline B1-B, after considering the relationship of the new development to neighboring properties. In either case, parking lots should not be located between the building and the street.



BUILDING FACADES ON THE FRONT PROPERTY LINES

- Encourage pedestrian activity by locating retail shops and other pedestrian oriented activities on the ground level at the street. Also, provide frequent building entrances along the street. Avoid locating blank walls, parking and other non-active uses along the street.



FREQUENT ENTRIES ENCOURAGED

2. PARKING AND DRIVEWAY ACCESS

a. Parking Lot Location

- Minimize the visual impact of parking facilities by locating them to the rear of the property.

b. Driveway Access

- Minimize curb cuts for driveways on Main Avenue. When curb cuts are necessary, reduce their width to a minimal dimension and minimize gaps in the "Street Wall".

- Locate parking access points on alleys and side streets when possible. Properties which abut side streets should use only the side street for vehicular parking and service access.
- The design of parking access drives should take into consideration pedestrian safety issues and should provide adequate vision for a driver to safely enter the street.

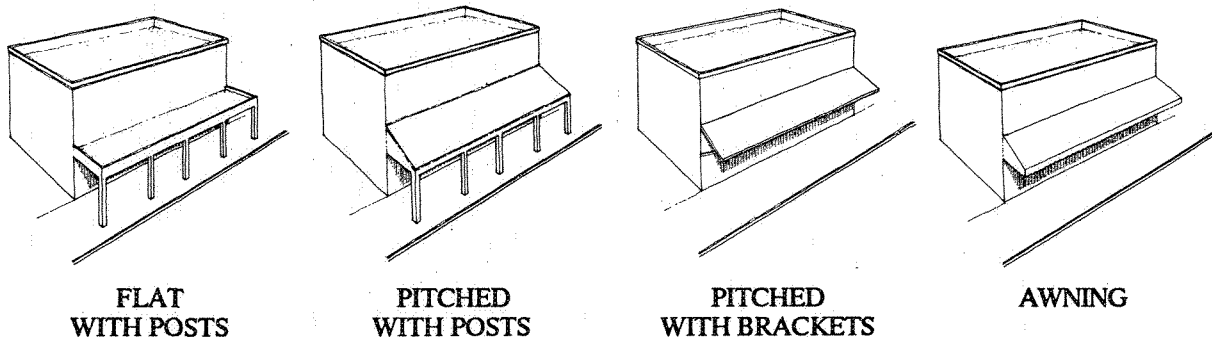
c. Parking Lot Setbacks And Planting

- When a parking lot must abut a public street, it should be setback at least 10 feet from the property line. The setback area should be planted with trees and shrubs following the same guidelines as specified in Sub-District B1-B: The Town Center Side Streets.
- Planting guidelines listed in Sub-District B1-B should be followed for internal parking lot planting if the parking lot is over 6000 square feet. There are no planting or setback requirements for the interior property lines of parking lots in Sub-District B1-A.

4. ARCHITECTURAL CHARACTER

See Guideline A3. "Old and New Design Relationships" and Guideline A4. "Architectural Character."

- Preserve and strengthen the historic image of the Town Center in new and renovated buildings.
- Maine Avenue commercial buildings are encouraged to provide a covered walkway or other form of shaded base on street facing facades. The walkway should be an integral part of the building's architectural character. The walkway's configuration, dimensions and use may vary with each project, but it should generally be a one story element no more than 16 feet high and visually defined by columns, arches or other vertical elements supporting a flat or low pitched roof (between 3:12 and 5:12). There should be a 7 feet minimum clearance over all walking surfaces.

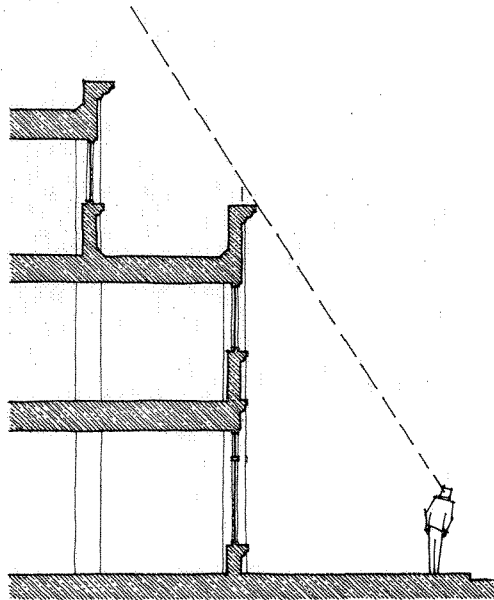


- Where the historic image is used in building design there should be a real effort to carry the theme through the details of the entire facade design. The use of historic details tacked on to non-historic buildings is discouraged.



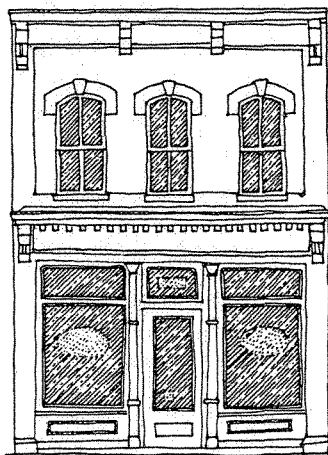
A STUDY OF MAINE AVENUE
From The Lakeside Town Center Plan, 1981

- False fronts should only be used on “western” theme buildings. The area of false front should be no taller than the equivalent of one story for one story buildings, and no taller than the equivalent of one-half story for two story buildings. False fronts should not be used on buildings over two stories.
- To maintain the scale of the street in the Town Center, buildings over two stories should provide a vertical setback between the second and third floors.



SETBACK ABOVE THE SECOND FLOOR

- At street level, buildings should have adequate clear glass to enable pedestrian views into retail shops and other spaces. In most instances there should be more glass than solid wall. Street level transparency should be balanced by more wall and less glass on the upper facade areas.



BALANCED TRANSPARENCY

- The upper edge of buildings, at the roof, should incorporate a strong shadow line. Hip roof shapes are discouraged on the east side of Maine Avenue in the Town Center.
- When the rear of a building is used as an entry or when it is visible from the street, give special attention to its design. Special care should be paid to both street sides of

buildings which use the entire property between Maine Avenue and Vine Street. Properties which are developed between these two streets should also be reviewed according to Section B1-B. Side Streets for their Vine Street side.

- New buildings located on Maine Avenue corners in the Town Center should consider the use of corner entries or other elements that emphasize the corner site condition.

5. LANDSCAPE CHARACTER

a. Street Trees

- Where covered sidewalks do not occur, street trees should be used to form a canopy over the sidewalk. Trees should be planted at 25 feet on center, and the tree should be protected from pedestrian foot traffic with an iron grate, or other treatment.
- Within the Town Center, along Maine Avenue, the preferred street tree is Geijera Parviflora (Australian Willow).

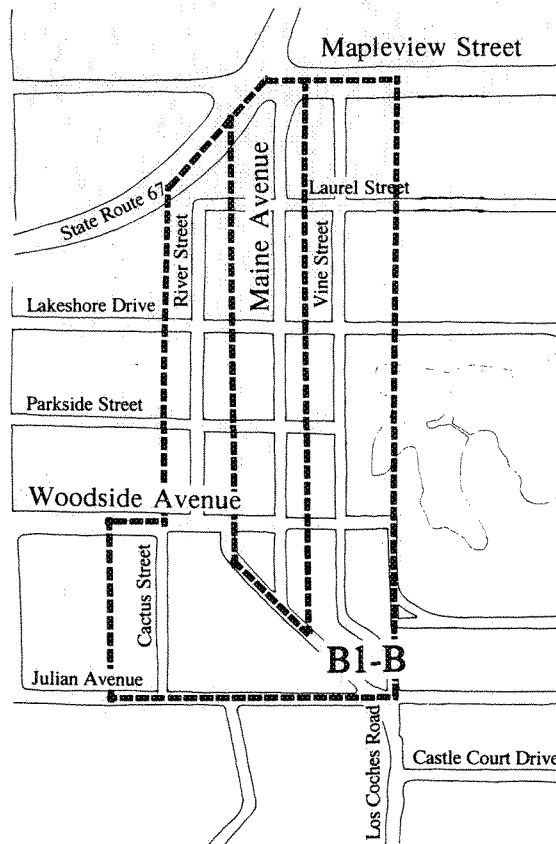
b. Courtyards

- Courtyards, patios and other outdoor activity spaces are encouraged. Design of these spaces should consider:
 - A choice of shaded and sunny areas.
 - Variety of texture and color.
 - Covered and uncovered outdoor passages.
 - Ability to secure at night.

B1-B. COMMERCIAL DEVELOPMENT IN THE TOWN CENTER SIDE STREETS

- Maintain the pedestrian character on the Town Center side streets.
- Encourage pedestrian activity and usable pedestrian areas.
- Locate parking away from street view.

This Guideline applies to all commercial development on Town Center side streets.

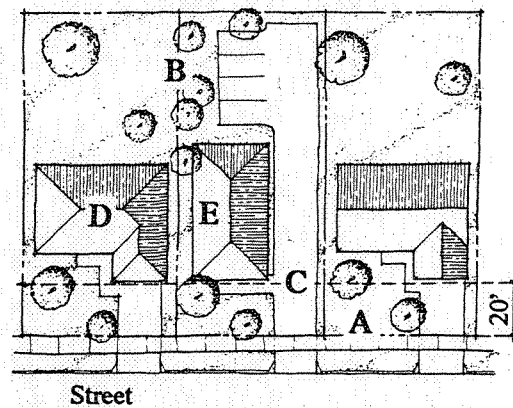


B1 - B Town Center Side Streets Sub-District

1. SITE PLANNING

- Buildings should be set back at least 15 feet from street side property lines. Provide a planted or pedestrian area between the building and the street property line.
- Avoid locating blank walls, parking and other non-active uses along street frontages.

- Planted side and rear yards are encouraged where they are not required by the Zoning Ordinance. When required, side and rear yard spaces should be planted.



- A. Front Yard
- B. Side Yard
- C. Driveway
- D. Existing Building Mass
- E. New Building Mass

MAINTAIN EXISTING YARD PATTERN

2. PARKING LOTS AND DRIVEWAYS

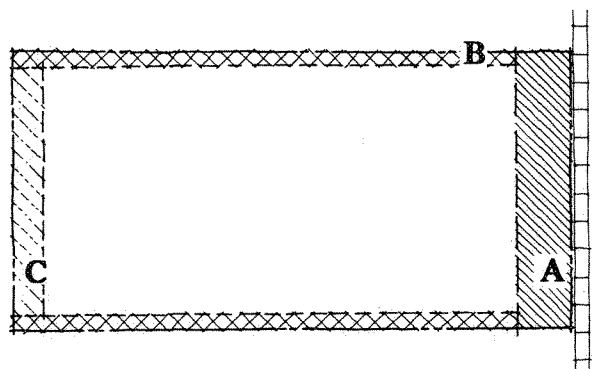
a. Parking Lot Location

- Minimize the visual impact of parking facilities by locating them to the rear of the property. A less desirable location, if rear parking is not possible, is to locate the parking to the side of the buildings.
- For developments which use the entire property between Maine Avenue and Vine Street, the Vine Street side should be considered the rear of the property in considering the location of parking.
- Parking in this Sub-District should be set back at least 15 feet from front or side street property lines, and 5 feet from rear or interior yard property lines.

b. Driveway Access

- Minimize the number of curb cuts for driveways.
- When curb cuts are necessary, reduce their width to a minimal dimension.
- Properties which abut side streets should normally use the side street for parking and service access.

3. PLANTING



YARD PLAN

- A. Street Edge
- B. Interior Property Line, Side Yard
- C. Interior Property Line, Rear Yard

a. Street Edge

- When a building is set back from the property line along a public street, the area between the building and property line shall be planted with at least 1 tree per 300 square feet of total area. Trees should be 15 gallon size minimum.

- **Parking Lot Setbacks**

Trees: Provide at least one tree per 300 square feet of total area between the parking lot and front or side street property line. Trees should be 15 gallon size minimum.

Shrubs: Shrubs and/or low walls should provide a visual screen of a minimum of 30 inches in height after 2 year's growth for at least 80 percent of the length of the parking area fronting a street, except where shrubs or walls will obstruct views of oncoming traffic. When walls are used, a minimum 5 foot wide planted buffer should be provided on the street-facing side of the wall. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

b. Interior Property Line

- Side and rear yard areas should be fully landscaped as follows:

Trees: Provide at least one tree per 300 square feet of total yard area. Trees should be 15 gallon size, minimum.

- **Parking Lot Setbacks**

Trees: Provide at least one tree per 100 square feet of total area between the property line and edge of the parking lot. Trees should be 15 gallon size, minimum.

Shrubs: Shrubs should provide a visual screen of a minimum of 30 inches in height after 2 years growth. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

c. Internal Parking Lot Planting

- For all parking lots greater than 6000 square feet, in addition to all other guidelines, an internal area equivalent to a minimum of 5 percent of the total parking area should be planted with a combination of trees and shrubs. Tree spacing should be such that every designated parking space is within 30 feet of the trunk of a tree.
- The parking lot perimeter should terminate a minimum 5 feet from the face of a building. This area should be planted with a combination of trees and shrubs, unless used as a pedestrian walkway.

B2. COMMERCIAL DEVELOPMENT OUTSIDE THE TOWN CENTER

- Unify commercial development outside the Town Center and integrate it into the community landscape, minimizing the impact of signs, parking lots and traffic congestion.
-

This Guideline applies to all commercial development located outside the Town Center as defined in Guideline B1.

1. SITE PLANNING

- Provide a minimum 15 foot deep Landscaped Street Edge Zone along all front and side street property lines. This zone should be composed of planting and landscape elements that are characteristic of Lakeside's scenic roads as well as screening of parking and service areas. The Landscaped Street Edge Zone should only be interrupted by driveways, sidewalks or pedestrian areas. Parking is not permitted in this location.
- Provide screening at the edge of all properties along the State Highway 67, Old Highway 80 and Interstate Highway 8 right-of-ways. In some of these locations the highway is higher than the adjacent properties. Densely foliated trees are encouraged in these areas and should be strategically placed to achieve a sufficient visual screen.
- Consider the use of defined outdoor spaces to give buildings and groups of buildings a focused pedestrian center. Covered and trellised outdoor spaces such as porches, loggias and colonnades, are encouraged. These elements provide shade, a transition between indoor and outdoor uses, and visual interest through shade and shadow patterns on building facades.

2. PARKING AND DRIVEWAY ACCESS

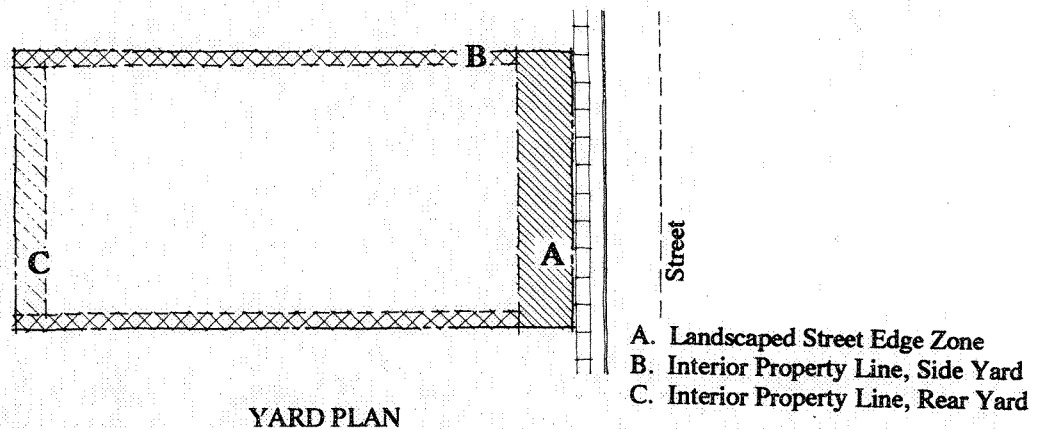
Refer to the San Diego County Zoning Ordinance Division 6750 and County of San Diego Offstreet Parking Manual for further requirements regulating driveway location.

- Minimize the number of curb cuts for driveways. The following schedule should be used as a guide:

<u>Parcel Street Frontage</u>	<u>Maximum Number and Width of Curb Cuts</u>
200' OR LESS	1 CURB CUT @ 25' WIDE or 2 CURB CUTS @ 15' WIDE EACH
201' OR MORE	2 CURB CUTS @ 25' WIDE FOR THE FIRST 201' AND 1 CURB CUT FOR EACH ADDITIONAL 200' OF FRONTAGE

- Shared or joint use driveways between separate properties are encouraged to reduce the number of curb cuts on public streets.
- Locate driveways as far from intersections as possible. On corner lots locate driveways as close to the interior side yard as possible.

3. PLANTING



a. Landscaped Street Edge Zone

Trees: Provide at least one tree per 300 square feet of the total area of the Landscaped Street Edge Zone. Trees should be a minimum size of 15 gallons.

Shrubs: Shrub plantings should be used to create spatial definition within the planting areas. Low, creeping shrubs may be used in the foreground; larger, coarser shrubs in the background. Blooming, fragrant shrubs are encouraged. Shrubs should be spaced with "on center" spacing so that branches intertwine after two years growth.

b. Interior Property Line

- Side and rear yard areas should be fully landscaped as follows:

Trees: Provide at least one tree per 300 square feet of total yard area. Trees should be 15 gallon size, minimum.

- Parking Lot Setbacks

Parking lots shall be set back at least 5 feet from interior side and rear property lines.

Trees: Provide at least one tree per 100 square feet of total area between the property line and edge of the parking lot. Trees should be 15 gallon size, minimum.

Shrubs: Shrubs should provide a visual screen of a minimum of 30 inches in height after 2 years growth. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

c. Internal Parking Lot Planting

- For all parking lots greater than 6000 square feet, in addition to all other guidelines, an internal area equivalent to a minimum of 5 percent of the total parking area should be planted with a combination of trees and shrubs. Tree spacing should be such that every designated parking space is within 30 feet of the trunk of a tree.

- The parking lot perimeter should terminate a minimum 5 feet from the face of a building. This area should be planted with a combination of trees and shrubs, unless used as a pedestrian walkway.

B3. MULTI-FAMILY RESIDENTIAL DEVELOPMENT

The opportunity to create a sense of neighborhood exists in multi-family developments. Because neighborhoods can contribute to the overall sense of community in Lakeside it is important that multi-family developments incorporate features which enhance their neighborhood character.

- Orient as many dwelling units as possible toward the street.
 - Minimize the impacts of parking areas on the residential character of the street.
 - Provide useable open space.
 - Provide landscaping which enhances the feeling and scale of residential streets and properties.
-

This Guideline applies to all multi-family and duplex residential development on land zoned at a density over 7.3 dwelling units per acre containing buildings of two or more attached dwelling units.

1. SITE PLANNING

- Provide a minimum 20 foot Planted Front Yard setback along all front and side street property lines. The setback area should be fully landscaped, interrupted only by driveways, sidewalks or pedestrian areas. Parking is strongly discouraged in this area.
- Public right-of-way areas should be planted in a similar way as the front yard setback area, though the use of trees should be avoided.

2. STREET FRONTAGE

On all streets, except major arterials, multi-family residential developments should emphasize a neighborly approach to street frontages.

- In order to promote the interaction of residents of multi-family buildings with their neighborhoods and minimize the separation of new residential projects within existing neighborhoods, developments should:
 - Organize as many of the dwelling units entries as possible to front the street. The use of front porches or entry patios, courtyards and terraces is highly encouraged.
 - Locate the first floor of living spaces at the ground floor level or not more than one-half story above ground level.



STREET FACADE ENTRIES

3. GROUP USABLE OPEN SPACE

- **Definition:**

Group Usable Open Space is space intended for common use by occupants of a development, normally including swimming pools, recreation courts, patios, open landscaped areas, playgrounds and greenbelts with pedestrian walkways, equestrian and bicycle trails. Parking, driveways and loading areas not considered Group Usable Open Space.

- Provide all multi-family projects with at least 100 square feet of Group Usable Open Space per dwelling unit.
- Designated areas for outdoor activities are encouraged.
- The San Diego County Development Regulation governing Group Usable Open Space should apply, with the following additional recommendations:
 - Surfacing: concrete and asphalt are not recommended.
 - Plantings should be provided to allow for shade, spatial definition, and aesthetic considerations.
 - Provide at least one designated childrens' play area of at least 400 square feet for the first 25 dwelling units. Add 100 square feet for each additional 25 dwelling units. This Guideline does not apply to senior citizen residential projects.

4. PRIVATE USEABLE OPEN SPACE

- All multi-family projects should provide at least 100 square feet of Private Useable Open Space per dwelling unit. For upper level units entirely above grade, Group Open Space may be substituted for up to 50 square feet of this requirement.
- The County Development Regulation governing Private Usable Open Space should apply, with the following additional recommendations:
 - Private open spaces on the ground should be a minimum of 8 feet in each dimension and should be screened from public view by plantings, walls, privacy fences or other similar methods.
 - To provide open space on sloped sites, consider terracing to achieve level spaces.
 - Open important living spaces such as living, kitchen and family rooms directly to outdoor spaces.
 - Locate private outdoor spaces to receive good sun penetration in winter months. Consider the use of deciduous trees to provide summer shade and winter sunshine.

5. PARKING AND DRIVEWAY ACCESS

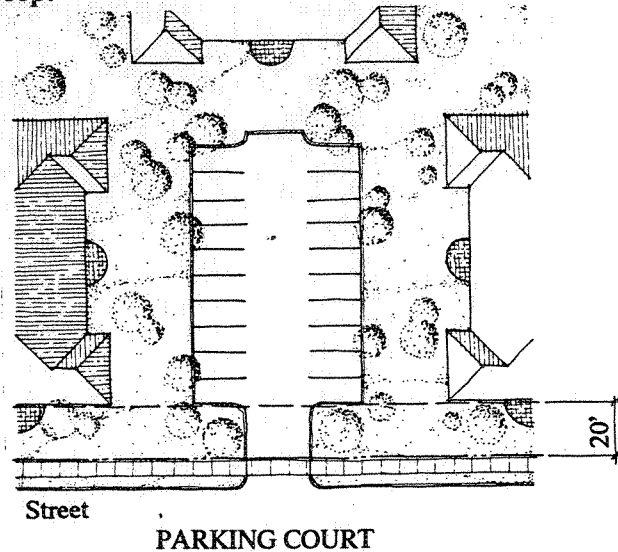
a. General Guidelines

- Residential parking lots should not be located between buildings and streets. Place parking lots the rear, side or at internal locations on the property.
- Garage doors of multi-family buildings should not face a public street, except when buildings are located on corner lots. In this case garage doors should open towards the side street only.

- Buildings which contain a common enclosed parking garage may orient one garage door opening toward the street.
- Carports and garages should be compatible with the architecture of the principal buildings.
- Views to parking areas should be screened from public streets, adjacent properties and Group Usable Open Spaces.

b. Parking Courts

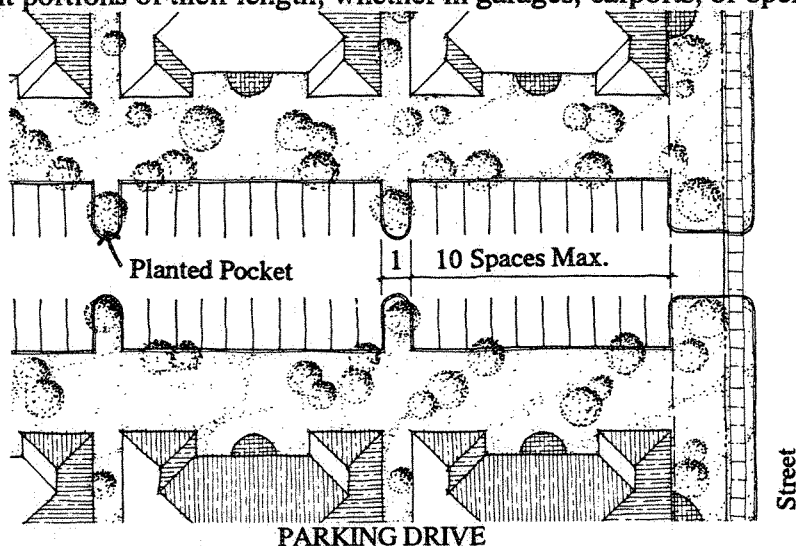
- Surface parking lots, including carports, are encouraged to be designed as Parking Courts. A Parking Court is a double loaded driveway without through circulation. Its depth may be controlled primarily by fire department access regulations, but should not be over 10 parking spaces deep.



- Parking Courts should be set back from street property lines by a Planted Front Yard at least 20 feet deep.

c. Parking Drives

Parking drives are used for internal vehicular access to garages, carports, or open parking areas. They incorporate substantial areas for parking, normally perpendicular parking, along significant portions of their length, whether in garages, carports, or open parking.

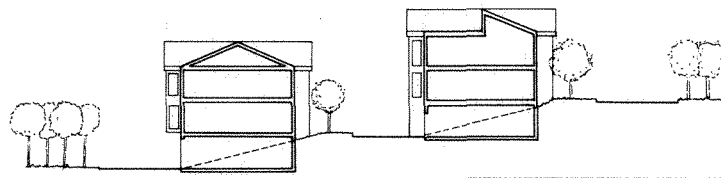


Long lines of parked cars or blank garage doors, unrelieved by planting areas or other types of screening is undesirable.

- Parking arranged in discrete bays to give a street-like character is encouraged. Each ten spaces of continuous perpendicular or angled parking should be separated from others by a planted pocket not less than one parking space wide. Architectural elements such as trellises, porches, or open stairways may encroach within these planted areas. Multiple garages that front parking areas or internal drives should have landscaped pockets between adjacent double garage doors.
- Planted "pockets" within parking areas should have at least one tree per "pocket."
- In multi-family projects of over 50 dwelling units, the location of Parking Drives around the periphery of the project will tend to isolate a project from its surroundings. The extent of perimeter parking drives should be minimized in these large developments.

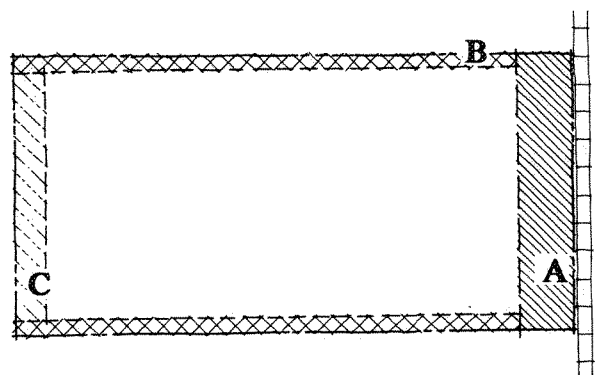
d. Covered Parking

- Covered parking areas, by means of garages, carports and trellised canopies, are encouraged.
- For sloping sites, tuck under parking is often an economical solution that economizes in the use of the land.



TUCK UNDER PARKING

6. PLANTING



YARD PLAN

- A. Planted Front Yard With Street Trees
- B. Interior Property Line, Side Yard
- C. Interior Property Line, Rear Yard

a. Street Trees

- New public streets and private roads in residential developments should have street trees planted at regular intervals throughout the development. Trees should be planted on private property as close to the street or road as possible.

b. Planted Front Yard

- Parking lots should be set back from public streets by a Planted Front Yard of at least 20 feet in depth measured from the street facing property line.

- Planting Guideline for the Planted Front Yard:

Trees: Provide at least one tree per 300 square feet of total area. Trees should be 15 gallon size, minimum.

Parking Lots: Shrubs and/or low walls should provide a visual screen of a minimum of 30 inches in height after 2 years growth. When walls are used, a minimum 5 foot wide planted buffer should be provided between the property line and the wall. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth. At driveway entrances, shrubs and/or low walls should not obstruct views of oncoming traffic.

c. Interior Property Line Planting

- Guideline for interior property line planting:

Trees: Provide at least one tree per 300 square feet of total area of the required side or rear yard. Trees should be 15 gallon size minimum.

- Guideline for parking lot edges along interior property lines:

Provide a minimum 5 foot deep fully-landscaped setback area at all parking lot edges along interior side and rear property lines.

Trees: Provide at least one tree per 100 square feet of total yard area. Trees should be 15 gallon size, minimum.

Shrubs: Shrubs should provide a visual screen of a minimum of 30 inches in height after 2 years growth. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

d. Internal Parking Lot Planting

- For all parking lots greater than 6000 square feet, in addition to all other guidelines, an internal area equivalent to a minimum of 5 percent of the total parking area should be planted with a combination of trees and shrubs. Tree spacing should be such that every designated parking space is within 30 feet of the trunk of a tree. Turf areas are discouraged.

- The parking lot perimeter should terminate a minimum 5 feet from the face of a building. This area should be planted with a combination of trees and shrubs, unless used as a pedestrian walkway. Space may be decreased to a minimum of 2 feet of planted area between the parking lot and the building, if the location is not visible from a public street.

7. MOBILE HOME PARKS

a. Intent

It is recognized that local regulation of mobile home parks is limited by provisions of state law. It is also recognized that it is impossible to anticipate mobile home park locations. It is hoped that applicants for mobile home park developments will cooperate with the

Community Planning Group and the Design Review Board during review of the Major Use Permit application to conform the design as nearly as feasible to the following guidelines. Mobile home parks should be built in such a way that they will be compatible with other buildings and developments. Mobile home parks provide a unique challenge to the developer and the Review Board because the majority of the individual homes are pre-fabricated. It is possible, however, for the homes to contribute to the character outlined by these Guidelines. It is also possible for the mobile home community as a whole to use elements of landscaping, lighting, signage, and architectural character in the community buildings to enhance the park's environment.

- Mobile home parks shall comply with the "Mobile Home On Private Lot Regulations", Sections 6502 through 6506 of the County Zoning Ordinance with the exception of any reference to permanent foundations.
- Community buildings located within a mobile home park should meet the same architectural standards as buildings in the previous Guidelines.
- Landscaping, lighting, signage, off-street parking use the same Guidelines as outlined in the multi-family sections.

Consideration will be given by the Design Review Board to unique situations which may preclude following any of the Guidelines which are inappropriate because of the nature of mobile home development, however, the applicant should do everything possible to adapt the project to these Guidelines. Where County requirements are more restrictive than these guidelines, County requirements will be used.

b. Individual Homes

Although a specific architectural character is not required for mobile homes, the following general principles should be followed:

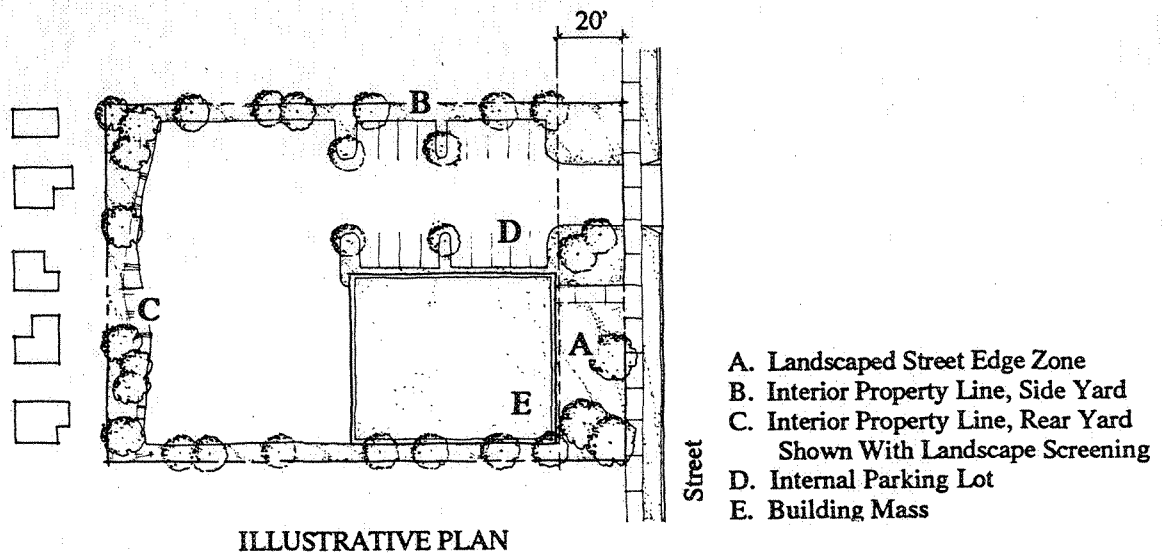
- Exterior walls should have a natural wood appearance.
- Earth tones and warm, light colors are encouraged.
- Bright colored and highly reflective roof surfaces are discouraged. When necessary to place utilities on the roof, all visible surface equipment should be the same color as the roof itself.
- These Guidelines apply to carports and other outbuildings also.

B4. INDUSTRIAL DEVELOPMENT

- Provide a Landscaped Street Edge Zone
- Screen Roof Top Equipment, Storage Yards and Parking Lots

1. SITE PLANNING

- Provide a minimum 20 feet deep Landscaped Street Edge Zone along all front and side street property lines. The Landscaped Street Edge Zone should be composed of plantings, earth berms, and/or low walls. Storage yards, loading areas, parking, or similar uses are not permitted in this location.



2. ARCHITECTURE

- Exterior wall materials that contain integral color and texture such as precast concrete, brick, split faced block and ribbed metal wall systems are encouraged. Bright colors and highly-reflective wall surfaces are discouraged. Earth-tones and warm, light colors are preferable.
- Locate entrances at street frontages when possible. Avoid placing long blank walls on the street.
- When long walls are necessary and are visible from off-site locations, provide visual relief through pilasters, reveals, color and material change, or small offsets in plan.
- Varying building heights and setbacks to define different functions such as offices and warehousing should be considered.
- Give careful attention to the appearance of large flat roof surfaces from off-site properties. If visible, built-up roofs should be accompanied by parapets; roof aggregate should be earth tone color and applied dense enough to completely cover the roof surface.
- Metal roofing systems with integral color (earth tone) are encouraged. Bright-colored and highly reflective roof surfaces, including unpainted galvanized metal roofing, are strongly discouraged.

3. SCREENING

- Storage yards and service areas should be screened from view using plantings alone or in combination with fences and walls.
- All fences and walls should be set back at least 20 feet from front and side street property lines.
- Roof top equipment should be screened from view. Where this is not possible due to grade changes, the roof top equipment should be enclosed in a housing which is sympathetic to the architecture of the main building; or it should be organized on the roof to give an orderly, uncluttered appearance with consideration for painting to match roof color. Due to the amount of roof top equipment that may exist in industrial projects it may be necessary to provide a roof top equipment layout plan for proper evaluation of roof top screening during the Design Review process.
- For all screening, special considerations should be made where changes in grade occur. If adjacent streets or neighboring properties are higher than the developing industrial site more stringent measures may need to be considered to accomplish the screening goal.
- Screening will be especially important along State Highway 67, Old Highway 80 and Interstate 8 in both the Community Plan Inset Area and through Moreno Valley. In both of these areas the scenic view corridor is important and the highway is typically higher than the adjacent industrial properties. From these elevated views low plants and fences may be insufficient to screen views. The recommended alternative is tall, densely foliated trees strategically placed to provide visual screening and to enhance the overall character of the view corridor.

4. PLANTING

a. Landscaped Street Edge Zone

- Planting Requirements for the Landscaped Street Edge Zone:

Trees: Provide at least one tree per 300 square feet of total area of the Landscaped Street Edge Zone. Trees should be 15 gallon minimum size. See Appendix A. "Plant Selection Guide."

Shrubs: Shrub planting should be used to create spatial definition within the planting area. Low, creeping shrubs may be used in the foreground, larger, coarser shrubs in the background.

When shrubs are used for screening they should provide a visual screen of a minimum of 5 feet in height after 2 years growth. Shrubs and walls should not obstruct views of oncoming traffic at driveways. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

b. Interior Property Line

- Provide a minimum 5 foot deep fully-landscaped setback area at all parking and service area edges along interior and rear property lines.

- When abutting commercial or residential uses, industrial parking lots and service areas should have a solid 6 foot fence or wall separating the industrial use from the residential or commercial property. Fences or walls should have a planted edge of at least 5 feet between the face of the wall or fence and a parking lot.

- **Guideline for Interior Property Line Planting:**

Trees: Provide at least one tree per 100 square feet of total area. Trees should be 15 gallon size, minimum.

Shrubs: Shrubs should provide a visual screen of a minimum of 5 feet in height after 2 years growth. For shrubs in massed plantings, use "on center" dimensioning to space shrubs so that branches intertwine after two year's average growth.

c. Internal Parking And Service Areas

Where the total square footage of a parking or service area exceeds 6000 square feet, in addition to all other Guidelines, an internal area equivalent to a minimum of 5 percent of the total area should be planted with a combination of trees and shrubs.

C. GUIDELINES FOR AREAS WITH SPECIAL ENVIRONMENTAL CONSIDERATIONS

C1. SCENIC ROADS

- Maintain the existing character of the scenic roads.
 - Planted road edges are encouraged.
 - Established, dominant tree species should be repeated in future plantings along a scenic road edge.
 - Existing significant trees should be preserved whenever possible.
-

This Guideline applies to: Willow Road, Wildcat Canyon Road, Lake Jennings Park Road, Highway 67 (through Moreno Valley) and El Monte Road.



EL MONTE ROAD

- On Scenic Roads, building setbacks in excess of minimum requirements are encouraged.
- Low walls of native stone, wooden rail fences, boulders and native rocks are encouraged.
- Retain existing land forms, stream beds, mature trees, and important rock outcroppings. When possible, driveway and underground utilities should be located to avoid destruction of important natural features.
- Enhance, rather than change, the qualities which are unique to the particular section of each road. If the road offers sweeping vistas, keep plantings either below 3 feet, or, in the case of trees, widely spaced clusters with branching patterns above 8 feet. Where roads wind through canyons, canopy trees can enhance the experience of being "enclosed." Planting native oaks or California Peppers along the road edge will provide an evergreen canopy over the roads. Shrubs of varying height may be used beneath the trees, but native grasses serve just as well.

C2. HILLSIDE DEVELOPMENT

Hillside development should strive for:

- Sensitive siting of buildings.
 - Minimal grading and careful drainage.
 - Integrated streets and sidewalks.
 - Appropriate plantings for hillside and slope conditions.
-

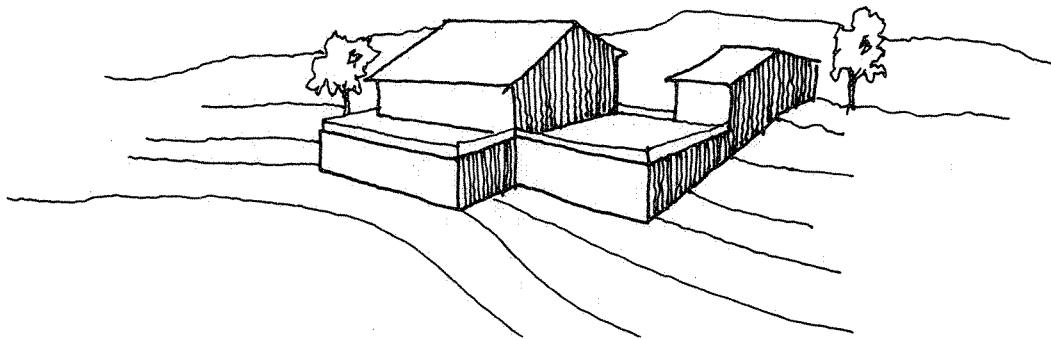
This Guideline applies to all development subject to Design Review on hillside sites of 25% or more gradient.

1. SITING OF BUILDINGS

Most hillside sites are highly visible and will need extra attention given to their view from off-site locations in the community. The visual impact of all hillside development should be minimized, with buildings, retaining walls and other improvements deferring to the natural landforms and kept to as low a profile as possible.

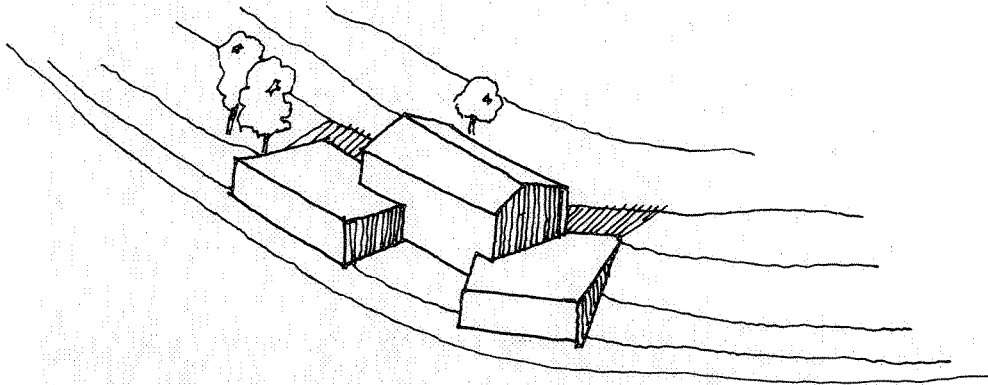
a. Reduction Of The Visual Bulk Of Structures

- Cut buildings into the hillside to reduce their visual bulk. Site buildings with different floor elevations to achieve height variation. Decks should be located low to the ground or on the roofs of lower levels of the building.



- Avoid large or long wall planes. Building masses should be broken into smaller-scale elements and elevations articulated to produce shadows through setbacks, overhangs, decks, recessed openings and projected windows.
- Roof lines should avoid extended horizontal lines and flat roofs. Pitched, gables and hipped roofs are more appropriate for hillside sites.

- Building forms should follow hillside slope to increase the integration of building and site. This is particularly important to roof forms.



- Avoid massive roof overhangs and cantilevers on downhill faces of buildings.
- Avoid long and high retaining walls. When retaining walls are used, break them into smaller elements with planted terraces.

b. Materials And Color

The hillside, when seen as a whole, is a delicate pattern of buildings, open spaces and vegetation. No one building should stand out from others or from the natural landscape.

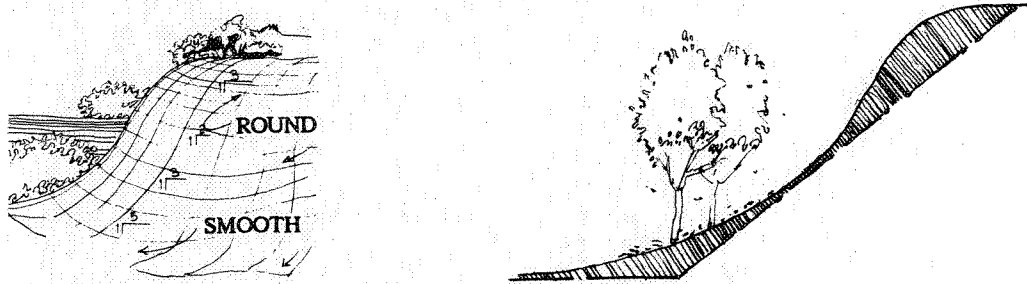
- All hillside buildings should use materials and painted colors that approximate the range of colors in the natural landscape. Highly-saturated colors, highly-contrasting color combinations and reflective surfaces should be avoided. The use of earth toned paints, wood stained with medium earth tones, native stone, and earth tone colors of brick or textured block are encouraged.
- Earth tone tile or composition shingles are preferred roofing materials for hillside sites. If synthetic materials or built up roofs with gravel are used, they should be of medium earth tones. White gravel and highly-reflective roof surfaces are strongly discouraged.
- Glass, skylights and reflective materials such as aluminum and plastics must be used carefully to minimize their reflective properties. Dark anodized aluminum is encouraged when windows or other aluminum products are used. Large areas of glass should be protected by overhangs. Highly-reflective mirrored glass is strongly discouraged.

2. GRADING AND DRAINAGE

a. Slope Ratios

- In order to create slopes which closely reflect the surrounding natural hills, and to avoid the linearity of consistent slopes, graded hillsides should have variation in their slope ratios. Grading should minimize the "engineered" look of manufactured slopes. Avoid sharp cuts and fills--smooth, flowing contours of varied gradients from 2:1 to 5:1 are preferred.

- Slope banks can be softened by contoured grading of fill at the top and toe of the slope.



- Residential lots cut into existing slopes of 25 percent or greater, and a minimum elevation differential of 50 feet, or greater, should strive to have at least one-half of the lot remain at the gradient of the original slope.

b. Building Pads And Retaining Walls

- Hillside site design should avoid large building pads, large level open spaces, and should minimize the height of retaining walls. New building sites should be graded so that they appear to emerge from the slope.
- Retaining walls faced with local stone or of earth-colored and textured concrete are encouraged.

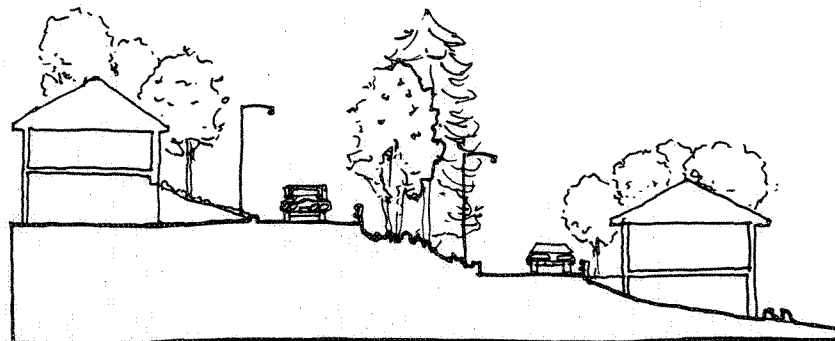
c. Drainage

- The community's natural landforms are an important part of its environment that should be respected in new development. Hillside grading should be minimized and designed to appear as close as possible to the surrounding land contours.
- Place drainage devices (terrace drains, benches and intervening terraces) as inconspicuously as possible on graded slopes. Natural swales leading downhill are good locations for downdrains. The side of a drain may be bermed to better conceal it.
- Concrete drains should be color-tinted to blend with natural soil color. Planting around drains is recommended to improve concealment.

3. STREETS AND WALKWAYS

The design of streets and walkways should work with the natural terrain and minimize cut and fill on hillsides.

- Street layout should follow existing natural contours so as to carefully integrate the street with the hillside.



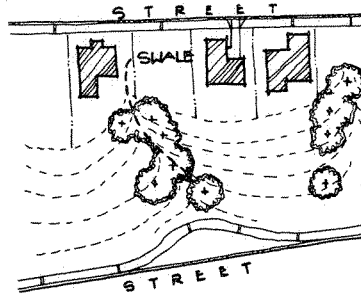
4. PLANTING DESIGN

a. Plant Selection

- Plant materials should be selected for their effectiveness of erosion control, fire resistance and drought tolerance.
- Hillside plant selection should consider neighbors' views and observe the following principles:
 - Where views have been established, follow downhill alignment of taller trees.
 - Use less dense, open trees that provide shade but do not block views.

b. Planting Techniques

- Use irregular plant spacing to achieve a natural appearance on uniformly graded slopes. Plant trees along contour lines in undulating groups to create grove effects which blur the distinctive line of the graded slope. Shrubs of varying height may be planted between tree stands. Ground covers of native and introduced species are appropriate for slope erosion control.
- When possible locate trees in swale areas to more closely reflect natural conditions and gather natural surface runoff for plant irrigation.



c. Transitional Slope Plantings

- Transitional slopes exist between the more ornamental plantings of newly planted areas and the native vegetation of undisturbed areas. The goal is to blend these two diverse areas together. The following planting principles are suggested for these areas:
 1. Establish the species of plants existing natively in the undisturbed areas.
 2. Determine the use of plants in the transitional areas: erosion control, shade, screening, etc.
 3. Select species from those already existing natively to fulfill the use requirements. Blend these plants into a planting plan of other hardy, drought resistant species of more ornamental or utilitarian qualities.
 4. As a general rule, encourage the planting of water-conserving plant species.
 5. Select low fuel volume plant materials. Trees spread fire quickly. Trees on transitional slopes should not be planted within 100 feet of ornamental tree species within cultivated gardens.

d. Internal Slope Plantings

- Internal slopes exist within the newly developed project. They do not blend into native areas, as do transitional slopes, and, therefore, may be planted with a different type of plant palette. The following principles are suggested for internal slopes:

1. Establish gradient of new slope and determine erosion control requirements.
2. Fulfill erosion control needs with water-conserving plant material,
3. As a general rule, encourage the planting of water-conserving plant species.
4. Arrange plants in naturalized patterns, rather than regimented rows.

C3. DEVELOPMENT IN FLOOD PLAINS

The flood plains within Lakeside encompass properties with substantial development potential.

The purpose of this Guideline is to define development standards and objectives that will minimize potential hazards of flood inundation and stream bank erosion while protecting the scenic and aesthetic value of the flood plain areas.

For further reference see the San Diego County Zoning Ordinance and Board of Supervisor's Policies I-68 and I-69 define development policies for Flood Plains.

The potential hazards created by development, grading and stream bank alteration within a Flood Plain are not only a concern of the development itself, but may cause damage to properties upstream and downstream of the property. For this reason, the larger off-site implications of all proposed buildings, other built improvements such as roads and parking areas, land form grading and stream bank alterations within a Flood Plain must be considered in all development reviews.

1. DEFINITIONS

- "100-YEAR FLOOD" means a flood estimated to occur on an average of once in 100 years.
- "FLOOD PLAIN" means a land area which is likely to be flooded, adjoining a river, stream, watercourse, ocean, bay or lake.
- "FLOODWAY" means the river channel and the adjacent land areas needed to carry the 100-year Flood, without increasing the water surface elevation more than one foot at any point. Additional criteria needed to provide good flow conditions may apply.
- "FLOOD FRINGE" means all land lying in the 100-year Flood Plain that is outside the Floodway.

2. FLOODWAY ZONE

- The defined Floodway zone should be kept as close as possible to its natural condition. Structures, parking areas and other major improvements are prohibited. Land form and stream bank alterations within the zone are strongly discouraged, except for the purpose of stabilizing stream bank areas with erosion problems.
- Construction of concrete or other engineered channels, dikes and levees within the Floodway zone is strongly discouraged and should only be used where flood damage to existing structures would be caused by flood flows.

3. DEVELOPMENT WITHIN THE FLOOD PLAIN

The general intent of this Guideline is to discourage development within the entire Flood Plain. Since this is sometimes not possible without a complete loss of property development potential, development in the Flood Fringe area is permitted subject to the following Guidelines:

a. Properties Partially Within A Flood Plain

- For developments on properties with areas lying both within and outside of the Flood Plain, buildings should be clustered, to the maximum extent feasible, in the areas of the site lying outside the Flood Plain. Use of the Flood Plain as group open space for recreation or other activities which would leave it in a natural state is strongly encouraged.
- The intent of this paragraph should be observed in all new lot splits and Planned Developments. Required open spaces should be concentrated in the Flood Plain.

b. Properties Entirely Within A Flood Plain

- If a development is proposed in the Flood Fringe area, the applicant must demonstrate the building, filling and other land form alterations will not contribute to off-site property damage by flooding, nor will it be subject to erosion by future floods.
- The finished floor level of all structures must be at least one foot above the 100-year Floodway elevation.

c. Structural Measures Of Flood Control

- Dikes, levees and floodwalls may be used to protect existing structures but should not be used for new development, even in Flood Fringe areas. Instead, buildings should be located elsewhere or elevated above flood level.

4. STREAM BANK STABILIZATION

Self-formed stream channels tend to be in a state of equilibrium, nearly stable, and usually do not require artificial bank stabilization. Land use changes that cause an increase in impervious surfaces or sedimentation will result in channel enlargement and stream bank erosion. This may require measures to stabilize the stream bank.

- Stream rehabilitation is the least expensive and preferred method of stabilization, its objective being to maintain the natural characteristics of the watercourse. The process may include enlarging the channel at points of obstruction, clearing obstructions at natural bends and points of constriction, limitation of use in areas of excessive erosion and restoration of riparian vegetation.
- Concrete channels and other mechanical measures of stabilization are not permitted unless no other alternative exists.
- If stream bank stabilization other than stream rehabilitation and vegetative methods is required, hand-placed stone or rock riprap are the preferred methods.
 - a. Hand-placed rock may be used. The bank should be graded, before placing the stone, at a slope no greater than 2-1/2:1. The rock usually must be placed on a bed of gravel or crushed stone. This method is one of the most aesthetically acceptable stream protection measures.
 - b. Rock riprap forms a flexible protective lining which is not as susceptible to settlement and undercutting as rigid linings. Due to its roughness, it helps dissipate the stream's energy. The diameter of the rock should be sized to be stable under potential 100-year flood conditions with smaller stone filling the voids.

5. PLANTING IN THE FLOOD PLAIN

The Flood Plain should be kept as close as possible to its natural state. The large open spaces and indigenous riparian vegetation such as live oaks, sycamores and scrub should be preserved and emphasized in new plantings. Ornamental plantings and the introduction of non-native species should be avoided.

PART 4. DESIGN REVIEW APPLICATION REQUIREMENTS

This section lists submittal requirements for all projects subject to Design Review. Fifteen copies of all drawings must be submitted. All copies must be folded to fit an 8-1/2" x 11" envelope, unless they are so thick they can only be rolled up.

Please make submittals as clear as possible and follow accepted conventions of drawing--all drawings clearly labeled, scales shown, north arrow on plans, clear and readable line work.

Proposals should not be presented open-ended with expectations of the staff or Design Review Board to make decisions.

Additional information, drawings or other materials necessary to describe the project may be requested by Department of Planning and Land Use staff or Design Review Board depending on the nature of the project or site.

Also, depending on the project's nature, not all of the above requirements may be needed - the applicant should discuss proposed modifications with the Department of Planning and Land Use staff member assigned to the community's Design Review.

The applicant may include additional information or materials such as sketches, models or photos if they help explain the proposal. Photos of the site and surrounding properties are always required.

PRELIMINARY REVIEW

Development proposals that elect the optional step of Preliminary Review or a request for waiver may submit drawings or other materials appropriate to the nature of the project and extent of planning studies completed. In most cases, site design, location of buildings, grading, basic form and height of buildings and landscape concepts will be important. Building elevations, perspectives and other information may be presented, but kept in preliminary form.

SUBMITTAL REQUIREMENTS:

A. SITE ANALYSIS (of existing site conditions).

To enable evaluation of development proposals in relationship to existing conditions on the site, the following information must be presented on one or more drawings, accompanied by photographs and, if needed, written description.

1. Basic site information (locate on drawing): Site boundaries with dimensions; building setback lines and easements; existing streets, sidewalks and public rights-of-way; existing structures and other significant built improvements.

2. Existing natural features (locate on drawing):

- Trees 6 inches or more in trunk diameter. Note trunk size and species.
- Topography. Existing contours at 2 foot intervals with areas of slope over 25% highlighted.
- Patterns of surface drainage, including location of dry and running streams, gullies, washes and natural swales.
- Location of flood zone: locate floodway and 100-year flood plain.
- Rock outcroppings greater than 8 feet in diameter measured at the ground. Include spot elevations to help visualize the mass of the rock outcropping.
- Locate other significant natural features which are either site amenities or potential hazards in development.

3. Photographs of the site and neighboring environment: Provide photographs of the existing site and site conditions on adjacent properties within 400 feet of all site boundaries (including buildings on adjacent sites). Include photos of views to and outlooks from the site. Clearly label each photograph.

4. Summary. A brief written synopsis should summarize:

- Existing site amenities and assets.
- Special problems and dangers. Site areas in need of special consideration or to be avoided due to such problems as poor soil, drainage, steep slope, high water table, flood plain location.
- This synopsis may be noted on the Site Analysis drawing.

B. SITE PLAN

1. Boundaries and public improvements.

- Site boundaries, building setback lines, public streets and sidewalks (as proposed-include widths), other proposed public improvements (curbs, gutters, curb cuts).
- Include dimensions.

2. Streets, sidewalks and parking areas within the site:

- Include dimensions of parking areas and width of streets and sidewalks.
- Show location and label materials of areas of special paving such as walkways, courtyards, patios, and arcades.
- For parking areas show layout of spaces, areas of landscaping, dimensions of spaces and aisles, arrows indicating direction of flow. Number the parking spaces.

3. Structures.

- Location and dimensions with respect to lot lines.
- Include fences, walls and accessory buildings proposed. Give heights of fences and walls.

4. Show location of dumpsters and loading areas.

5. Grading and Drainage. This may be drawn on a separate plan at the option of the applicant. It should include:

- Existing and proposed contours at 2 foot intervals.
- Finished floor elevations of proposed structures.
- Indication of all water courses, with spot elevations of high and low points.
- Area of depth of cuts. Location and height of fills.
- Show retaining walls and adjacent spot elevations.

C. LANDSCAPE PLAN.

Show at same scale as Site Plan. This may be combined with the Site Plan (B) in the case of small projects.

1. Existing trees 6 inches or more in diameter with their proposed disposition (to be retained or removed). Give species and trunk diameter of each.

2. Location, species (give common and Latin name) and size (at planting - gallon or box size) of all new plant materials.

- Use symbols and a legend as necessary. Show all plant materials to scale.
- Ground cover may be indicated in mass.

3. Describe method of irrigation.

4. Describe means of erosion control, if applicable.

D. BUILDING FLOOR PLANS

E. BUILDING ELEVATIONS. Show all elevations.

- Note all finish materials on drawings.
- Provide color samples (paint chips) or one color board at the Design Review session.
- Dimension building heights from finish grade.
- Include exterior walls and fences with heights dimensioned.
- Show locations and sizes of building-mounted signs in building elevations.
- Show location of mechanical equipment, roof equipment, electrical transformers and solar panels in building elevations. Show means of screening roof equipment.

F. SECTIONS.

One sectional drawing is suggested at a suitable scale to show relationship of buildings to the site, public street and parking area. This item is optional.

G. SIGNS.

Provide a scaled drawing of each proposed sign with exterior dimensions and mounting height called out. Give total area of each.

- a. Draw or provide sample of letters and logos, and the full message to appear on the sign.
- b. Describe materials and colors of background and letters.
- c. Give means of illumination and magnitude of illumination.

H. LIGHTING.

Provide a site lighting plan with location, type, fixture height, power rating and shielding methods indicated. Include security lighting. Show elevation drawing or manufacturer's photo of each fixture, including its material and color.

I. STATISTICAL SUMMARY.

Provide a written summary:

- a. Site areas. Total area of site, area-covered by buildings, area covered by parking lots and driveways, net area of site landscaping. All in square feet.
- b. Buildings. Total enclosed building area. If a residential project give number of units and development density (units/acre).
- c. Number of parking spaces required and proposed.
- d. This information may be noted on the Site Plan drawing.

Appendix A

Plant Selection Guide

The shrubs and trees listed within this Appendix reflect the design goals stated in A5. "Landscape Character." They are listed by zones, Commercial, Industrial, etc., and may be used throughout the site in the specified zone. Other shrubs and trees not listed here may also accomplish the desired goals, and if they do so, are encouraged also. Appendix B is more specific with regard to trees on significant streets in Lakeside.

To use this Appendix, find the zone applicable to the project by reading across the upper line. Then read down to find plants appropriate for use in that zone. Please consult Sunset's Western Garden Book for additional information about each plant.

First is a Shrub Matrix. The majority of shrubs are listed by their genus names only, for instance, "Calliandra species". Over 250 different species exist within this genus and all are encouraged for use in Lakeside, depending upon availability. To determine which species is appropriate for the intended use, consult Sunset's Western Garden Book finding the species listed under the genus name, "Calliandra". In one case, *Heteromeles abutilifolia*, *Toyon*, the species name and the common name is given in the Appendix. Only this species of *Heteromeles* is to be used.

Size considerations are defined for shrubs: low creeping varieties, which can be used for shrubby ground covers, medium sized, and large sized which can be used for screening, accents and spatial definition. All shrubs are considered to be low water using. Planting locations frequently determine tenderness to frost. Shrubs beneath trees, against walls, etc. are protected; whereas, shrubs in the open are vulnerable. The *Ribes* and *Rhus* species have deciduous habits; all other shrubs are evergreen. *Nerium oleander* has toxic foliage, but is included in the Appendix because of its other excellent qualities. Its use is encouraged where toxic foliage will not present a hazard,

Next listed are Low Fuel Volume Shrubs for use along rural roads where fire hazard exists. All of the shrubs are low growing and can exist with little or no summer water.

The last list is a Site Tree Matrix. Unlike the Shrub Matrix, the Site Tree Matrix lists the majority of tree names by genus and species, adding also the common name. This has been done because very specific trees are encouraged in Lakeside. Where more than one species is desirable, the genus name is listed only. Additional considerations given for trees are low water use, frost resistance to 25 degrees, and evergreen leaf quality. Consideration of these characteristics may be important for a given location.

SHRUB MATRIX

Botanical Name	Low	Medium	Large	Scenic Roads	Com-mercial	Ind-ustrial	Parking Lot	Multi-Family	Town Center
Calliandra species		•	•	•	•	•	•	•	•
Ceanothus species	•	•	•	•	•	•	•	•	•
Grevillea noellii <i>No Common Name</i>		•		•	•	•	•	•	•
Heteromeles arbutifolia <i>Toyon</i>			•	•	•	•	•	•	
Lantana species	•	•	•	•	•	•	•	•	•
Juniperus species	•	•	•	•	•	•	•	•	•
Mahonia species	•	•		•	•	•	•	•	•
Melaleuca species			•	•	•	•	•	•	
Nerium oleander varieties		•	•	•	•	•	•	•	•
Ornamental grasses	•			•	•	•	•	•	•
Pittosporum species	•	•	•	•	•	•	•	•	•
Photinia species		•	•	•	•	•	•	•	•
Pyracantha species	•	•	•	•	•	•	•	•	•
Raphiolepis species		•	•	•	•	•	•	•	•
Ribes species	•	•	•	•	•	•	•	•	•
Rhus species			•	•	•	•	•	•	•

LOW FUEL VOLUME SHRUBS

Native Plants

Eriophyllum species, Yarrow
 Eschscholzia californica, California Poppy
 Lotus scoparius, Deerweed
 Lupinus species, Annual Lupine
 Mimulus species, Monkey Flower
 Salvia columbariae, Chia
 Salvia sonomensis, Creeping Sage
 Zauschneria species, California Fuchsia

Introduced Plants

Atemisia caucasica, Silver
 Atriplex glauca, Saltbush
 Atriplex semibaccata, Creeping Saltbush
 Cistus crispus, Rockrose
 Cistus salviifolius, Sageleaf Rockrose
 Santolina virens, Green Santolina

TREE MATRIX

Botanical Name <i>Common Name</i>	Low Water Use	Frost Resist.	Ever- green	Scenic Roads	Com- mercial	In- dustrial	Parking Lot	Multi- Family	Town Center
Acacia decurrens <i>Green Wattle</i>	•	•	•	•	•		•		
Agonis flexuosa <i>Peppermint Tree</i>	•		•				•		
Albizia julibrissin <i>Silk Tree</i>	•	•		•	•	•			
Arbutus unedo <i>Strawberry Tree</i>	•	•	•	•	•				
Bauhinia variegata <i>Orchid Tree</i>	•				•		•	•	
Brachychiton acerifolius <i>Flame Tree</i>	•	•		•	•	•			
Calodendron capense <i>Cape Chestnut</i>	•			•	•	•	•	•	
Cassia leptophylla <i>Gold Medallion Tree</i>	•				•	•			
Ceanothus "Ray Hartman" <i>California Lilac</i>	•		•				•		
Cinamomum camphora <i>Camphor Tree</i>	•	•	•		•	•	•		
Cupaniopsis anacardioides <i>Carrot Wood</i>	•	•	•				•	•	•
Eucalyptus claophylla <i>NCN</i>	•	•	•	•	•	•			
Eucalyptus lehmanii <i>Bushy Yate</i>	•	•	•	•	•		•		
Eucalyptus. leucoxylon <i>White Ironbark</i>	•	•	•	•	•	•		•	
Eucalyptus nicholli <i>Peppermint Gum</i>	•	•	•	•	•	•	•	•	
Eucalyptus sideroxylon <i>Red-iron Bark</i>	•	•	•	•	•	•	•	•	
Geijera parviflora <i>Australian Willow</i>	•	•	•				•		•

TREE MATRIX (cont.)

Botanical Name Common Name	Low Water Use	Frost Resist.	Ever- green	Scenic Roads	Com- mercial	Ind- ustrial	Parking Lot	Multi- Family	Town Center
Ginko biloba <i>Madenhair Tree</i>	•	•		•	•	•		•	
Jacaranda arcutifolia <i>Jacaranda</i>	•	•		•	•	•	•	•	
Koelreuteria species <i>Rain Tree</i>	•			•	•	•	•	•	
Olea eurpoaea <i>Olive Tree</i>	•	•	•	•	•	•	•		
Pinus halepensis <i>Allepo Pine</i>	•		•	•		•			
Pinus pinea <i>Italian Stone Pine</i>	•	•	•			•	•		
Pistache chinensis <i>Pistache Tree</i>	•	•		•	•		•	•	
Platanus acerfolia <i>Plane Tree</i>	•	•		•	•	•	•	•	
Pyrus calleryana "Bradford" <i>Ornamental Pear</i>	•	•			•		•	•	
Quercus agrifolia <i>Coast Live Oak</i>	•	•	•	•		•			
Rhus lancea (male trees) <i>African Sumac Tree</i>	•	•		•	•		•		
Robinia pseudoacacia var. <i>Black Locust</i>	•	•		•	•	•		•	
Schinus molle <i>California Pepper</i>	•	•	•	•	•	•		•	
Schinus terebinthefolia <i>Brazilian Pepper</i>	•	•	•	•	•	•			
Sophora japonica <i>Japanese Pagoda Tree</i>	•	•		•	•	•		•	
Ulmus parviflora <i>Evergreen Elm</i>	•	•	•	•	•	•		•	

Appendix B

Street Tree Planting Guide

Properties subject to Design Review on the following streets should use the recommended species to maintain a consistent character along the street's length.

WOODSIDE AVENUE

In the past, before widening, Woodside Avenue was planted with "Cork Elms." To replant this important street select tree species from the following list and install at densities described in Guideline B2. "Commercial Development Outside the Town Center."

- *Ginkgo biloba* (Maidenhair Tree)
- *Robinia pseudoacacia* (Black Locust)
- *Eucalyptus calophylla* (NCN)
- *Ulmus parvifolia* (Chinese Evergreen Elm)

WINTER GARDENS BOULEVARD AND MAPLEVIEW STREET.

Commercial and multi-family development predominate along these streets. Soften the street edge with plantings of both evergreen and flowering deciduous trees. Select from the following trees at densities prescribed in B2, Commercial Development Outside the Town Center and B4, Multi-Family Residential Development.

- *Pinus halepensis* (Aleppo Pine)
- *Schinus molle* (California Pepper)
- *Robinia "Idahoensis"* (Pink Locust)
- *Jacaranda acutifolia* (Jacaranda)
- *Albizia julibrissin* (Silk Tree)
- *Calodendron capense* (Cape Chestnut)
- *Sophora japonica* (Japanese Pagoda Tree)
- *Ulmus parvifolia* (Chinese Evergreen Elm)

MAINE AVENUE IN THE TOWN CENTER

Boulevard trees are suggested to unify this street. Plant at 25 feet on center.

- *Geijera parviflora* (Australian Willow)

* Proper measures should be taken to prevent root damage to sidewalks.

HIGHWAY 67

Provide a densely planted edge along the freeway's edge adjacent to industrial and service commercial uses. Select from the following trees at densities prescribed in B2, Commercial Development Outside the Town Center, and B4, Industrial Development.

- *Schinus molle* (California Pepper)
- *Schinus terebinthifolius* (Brazilian Pepper)
- *Pinus halepensis* (Aleppo Pine)
- *Eucalyptus lehmannii* (Bushy Yate)

LAKESHORE DRIVE, PARKSIDE STREET, JULIAN AVENUE

To make the connection of the Town Center and Lindo Lake Park stronger, extend park-like plantings of Lindo Lake Park along the streets which connect the park to the Town Center. Select from the following trees at densities prescribed in B1-B, Commercial Development in the Town Center Side Streets.

- *Schinus molle*, (California Pepper)
- *Robinia pseudoacacia*, (Black Locust)

OLDE HIGHWAY 80

Developers are encouraged to plant road edges with desirable trees species presently found along Olde Highway 80's edge. Select from the following trees at densities prescribed in B2, Commercial Development Outside the Town Center.

- *Quercus agrifolia*, (Coast Live Oak)
- *Eucalyptus* species
- *Schinus molle*, (California Pepper)
- *Robinia pseudoacacia*, (Black Locust)

RESIDENTIAL NEIGHBORHOOD TREE PROGRAM

The goal is to create the feeling of a unique neighborhood in new residential developments. Developers are encouraged to submit a planting plan for street trees throughout new projects. The plans should differentiate between entry street trees and side street trees. Trees should be planted at least one per residential lot, as close to the street fronting property line as possible. Corner lots should have two trees planted per lot.

Entry Street Trees:

- *Jacaranda acutifolia*, (Jacaranda)
- *Calodendron capense*, (Cape Chestnut)
- *Ginkgo biloba*, (Maidenhair Tree)
- *Cupaniopsis anacardioides*, (Carrot Wood)
- *Robinia 'Idahoensis'*, (Pink Locust)

Side Street Trees:

- *Sophora japonica*, (Japanese Pagoda Tree)
- *Koelreuteria* species, (Raintree)
- *Platanus acerifolia*, (Plane Tree)
- *Bauhinia* species, (Orchid Tree)
- *Eucalyptus* species, (Gums and Ironbarks)